

GENERAL NOTES

- CODE COMPLIANCE
ALL WORK SHALL COMPLY WITH THE 2021 IRC, 2021 WSEC, 2021 IMC, 2021 IFG, 2021 UPC, 2021 IPCM, 2020 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS
A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER IS 6" + OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION
CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK
- ROUGH OPENINGS/BACKLOGGING
VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS, FURRING.
PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
GRADES: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
FLOOR LINES: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.
DOORS:
DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER:
TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 8", TYPICAL.
FRAMING:
ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C. & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C., UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS.
VENTILATION:
VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE.
BATHROOM/UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK.
FLEX DUCTING IS NOT ALLOWED.
ALL EXHAUST FANS/VENT HOODS OVER 400CFM SHALL HAVE A MAKE-UP AIR DEVICE W/ DAMPER STARTING AUTOMATICALLY AND RUNNING CONTINUOUSLY WITH THE FAN CAPABLE OF SUPPLYING AN EQUIVALENT AMOUNT OF AIR.
FLUES: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.
DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.
OTHER DOCUMENTATION:
REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
PROTECTION:
PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
PERMITS:
SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT
ROOFING: PROVIDE NEW ROOFING TO MATCH EXISTING.
EXHAUST DUCTS: PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS.
PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.
APPLIANCES:
CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
WATER FLOW:
SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
SMOKE DETECTORS: SMOKE & CARBON MONOXIDE DETECTORS THROUGHOUT NEW CONSTRUCTION.
NFA 72 MONITORED FIRE ALARM SYSTEM:
A NFA 72-CHAPTER 29 MONITORED FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.
FIRE BLOCKING:
FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION PER 2018 IRC SECTION R302.11. 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, SPECIFICALLY VERTICALLY @ CEILING AND FLOOR LEVELS; AND HORIZONTALLY @ INTERVALS NOT EXCEEDING 10 FEET. 2) AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T.O. & B.O. RUN, 4) AT OPENINGS AROUND VENTS, PIPES, ETC. AT CEILING AND FLOOR LEVEL.

PROJECT DATA

PROJECT ADDRESS: 8030 SE 20TH ST
MERCER ISLAND, WA 98040

PROPERTY TAX ID NUMBER: 545230-2220

SCOPE OF WORK: NEW UNCONDITIONED 876 SF OUTDOOR ROOM AND ROOF SYSTEM ON TOP OF THE EXISTING PATIO, NEW 956.6 SF DECK EXPANSION OFF THE EXISTING PATIO, AND NEW 513 SF DRIVEWAY WIDENING.

ZONING: R-12

CONSTRUCTION TYPE: TYPE V B

NUMBER OF STORIES: 2 STORY + DAYLIGHT BASEMENT

FIRE PROTECTION: -

BUILDING HEIGHT: 30 FT ABOVE AVERAGE BUILDING ELEVATION (FLAT ROOF)
35 FT ABOVE AVERAGE BUILDING ELEVATION (SLOPED ROOF)

LOT AREA: 31,241 SF

SETBACKS: FRONT LINE = 20 FT
REAR LOT LINE = 25 FT
SIDE LOT LINES = 22.01 FT TOTAL (MIN 7.26 FT)

LOT COVERAGE: 40% MAX (12,469.4 SF)

PROJECT TEAM

OWNER: HOT PINK TRUST AND LEGMAN
8030 SE 20TH ST
MERCER ISLAND, WA 98040
PHONE: 425.451.7003
CONTACT: TIM & GINA ONIELL

ARCHITECT: STURMAN ARCHITECTS, INC.
9 - 103RD AVE NE SUITE 203
BELLEVUE, WA 98004
PHONE: 425.451.7003
CONTACT: BRAD STURMAN

STRUCTURAL: L120 ENGINEERING & DESIGN
13150 91ST PL NE
KIRKLAND, WA 98034
PHONE: 425.636.3313
CONTACT: MANS THURFJELL

GEOTECH: GEOTECH CONSULTANTS, INC.
2401 10TH AVE E
SEATTLE, WA 98102
PHONE: 425.747.5618
CONTACT: MARC MCGINNIS

CIVIL: PATRICK HARRON & ASSOCIATES, LLC
14900 INTERURBAN AVE S, SUITE 279
SEATTLE, WA 98168
PHONE: 206.674.4659
CONTACT: SCHWIN CHAOSILAPAKUL

SURVEYOR: TERRANE
11235 SE 6TH ST, SUITE 130
BELLEVUE, WA 98004
PHONE: 425.458.4488
CONTACT: JACOB MILLER

ARBORIST: ARBOR INFO LLC
2406 N CASTLE WAY
BRIER, WA 98036
PHONE: 206.300.9711
CONTACT: TOM HANSON

LOT COVERAGE & HARDSCAPE

LOT COVERAGE	MAIN STRUCT. & ROOF S.F.	COVERED TERRACE	DRIVES/ PARKING	TOTAL LOT COVERAGE	% LOT COVERAGE
EXISTING LOT COVERAGE	4,678.1 SF	340.5 SF	2,657.8 SF	7,674.4 SF	24.6 %
CHANGE	+ 5,552.1 SF	340.5 SF	3,170.8 SF	9,063.4 SF	29.0 %
CHANGE	+ 876.0 SF	0 SF	+ 513.0 SF	+ 1,389.0 SF	+ 4.4 %
% ALLOWED LOT COVERAGE				12,496.4 SF ALLOWABLE	40 %

HARDSCAPE	ENTRY PATIO	REAR DECK/PATIOS	POOL	STAIRS	RETAINING WALLS/ROCKERIES	TOTAL HARDSCAPE	% HARDSCAPE
EXISTING HARDSCAPE	389.4 SF	2,456.2 SF	765.4 SF	75.0 SF	805.1 SF	4,491.1 SF	14.4 %
PROPOSED HARDSCAPE	389.4 SF	3,413.1 SF	765.4 SF	10.5 SF	816.2 SF	5,394.6 SF	17.3 %
CHANGE	0 SF	+ 956.9 SF	0 SF	- 64.5 SF	+ 11.1 SF	+ 903.5 SF	+ 2.9 %
HARDSCAPE FROM LEFTOVER LOT COVERAGE						3,433 SF	+ 10.9 %
ALLOWED HARDSCAPE						6,244.7 SF ALLOWABLE	19.9 %

HIGHEST EL: +1-80.7'
LOWEST EL: +1-16.1'
ELEVATION DIFFERENCE= 64.6'

64.6' DIVIDED BY 434.8' (HORIZ. DIST. BTWN. HIGHEST & LOWEST ELEV.) = .148

LOT SLOPE IS 14.8%, WHICH IS LESS THAN 15% THUS LOT COVERAGE ALLOWED IS 40%.

(E) WALL INSULATION

EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION WHILE MAINTAINING CODE REQUIRED VENTILATION CLEARANCES. 2X4 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-15 AND 2X6 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-21.

GROSS FLOOR AREA

LOT SIZE	= 31,241 SF
GFA THRESHOLD	= 10,000 SF OR 40% (12,456 SF) WHICHEVER IS LESS
EXISTING RESIDENCE GFA:	
LOWER FLOOR	= 2,847.8 SF
MAIN FLOOR	= 2,924.6 SF
UPPER FLOOR	= 1,231.2 SF
GARAGE	= 543.8 SF
TOTAL EXISTING:	= 7,547.4 SF
EXISTING GFA IS 7,547.4 SF OR 24.2%	
PROPOSED RESIDENCE GFA:	
LOWER FLOOR	= 2,847.8 SF
MAIN FLOOR	= 2,924.6 SF
UPPER FLOOR	= 1,231.2 SF
GARAGE	= 543.8 SF
STORAGE	= 104 SF
TOTAL PROPOSED:	= 7,651.4 SF
PROPOSED GFA IS 7,651.4 SF OR 24.6%	

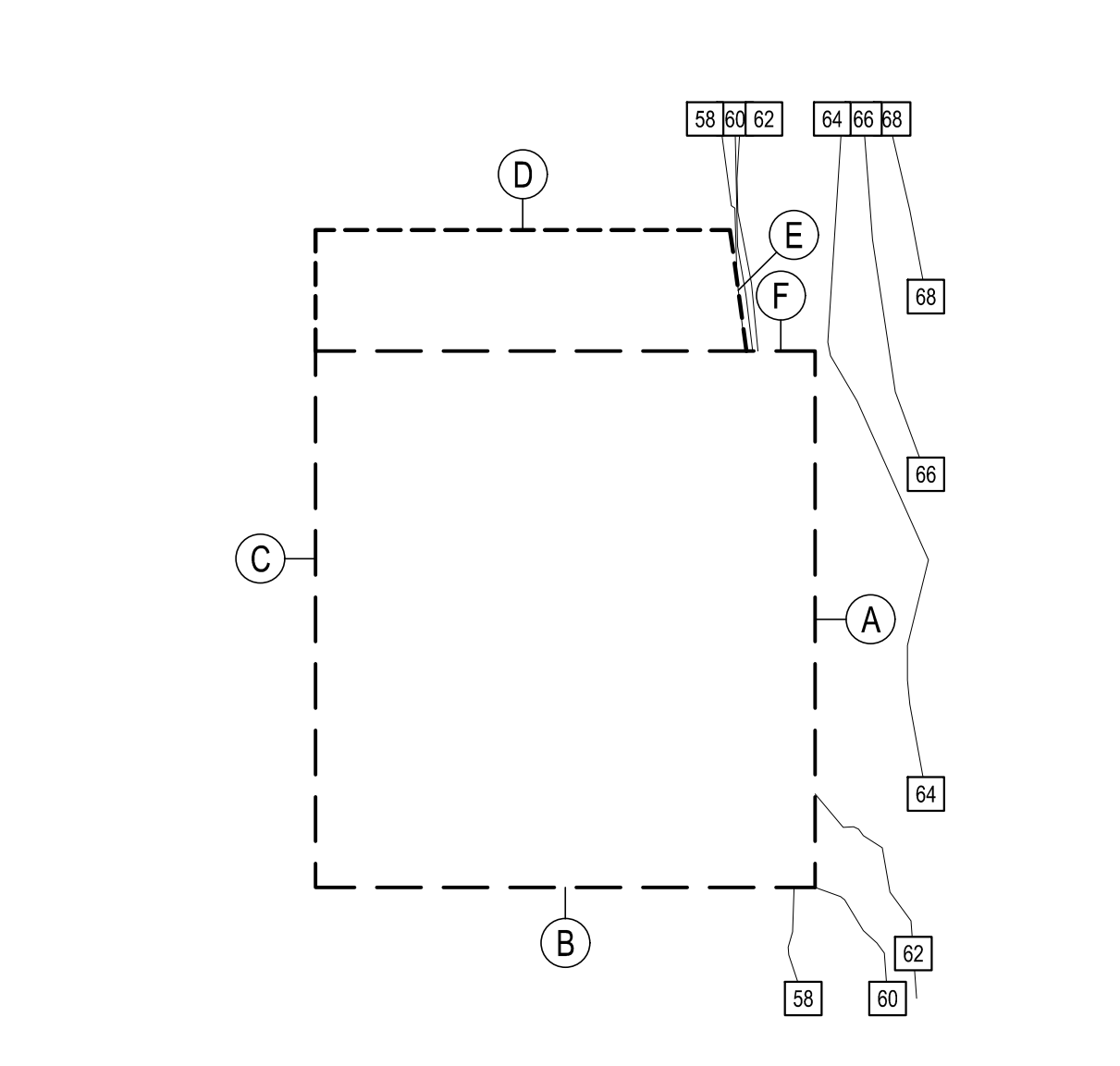
2021 WSEC

NO NEW UNCONDITIONED SPACE
NO CREDITS NEEDED

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- C3.1 STORM DETAILS
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- SD-2 STRUCTURAL DETAILS
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- SD-4 STRUCTURAL DETAILS
- SD-5 STRUCTURAL DETAILS

A.B.E. (GARAGE)



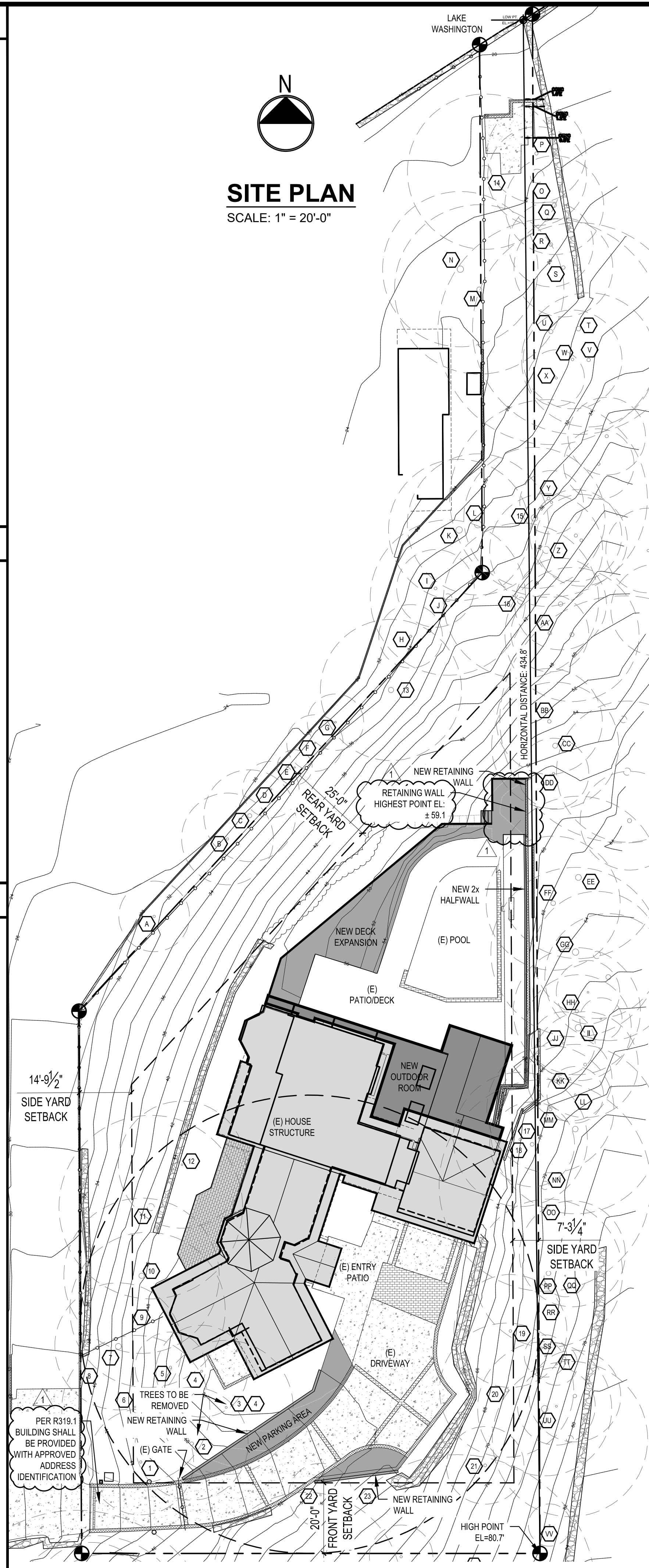
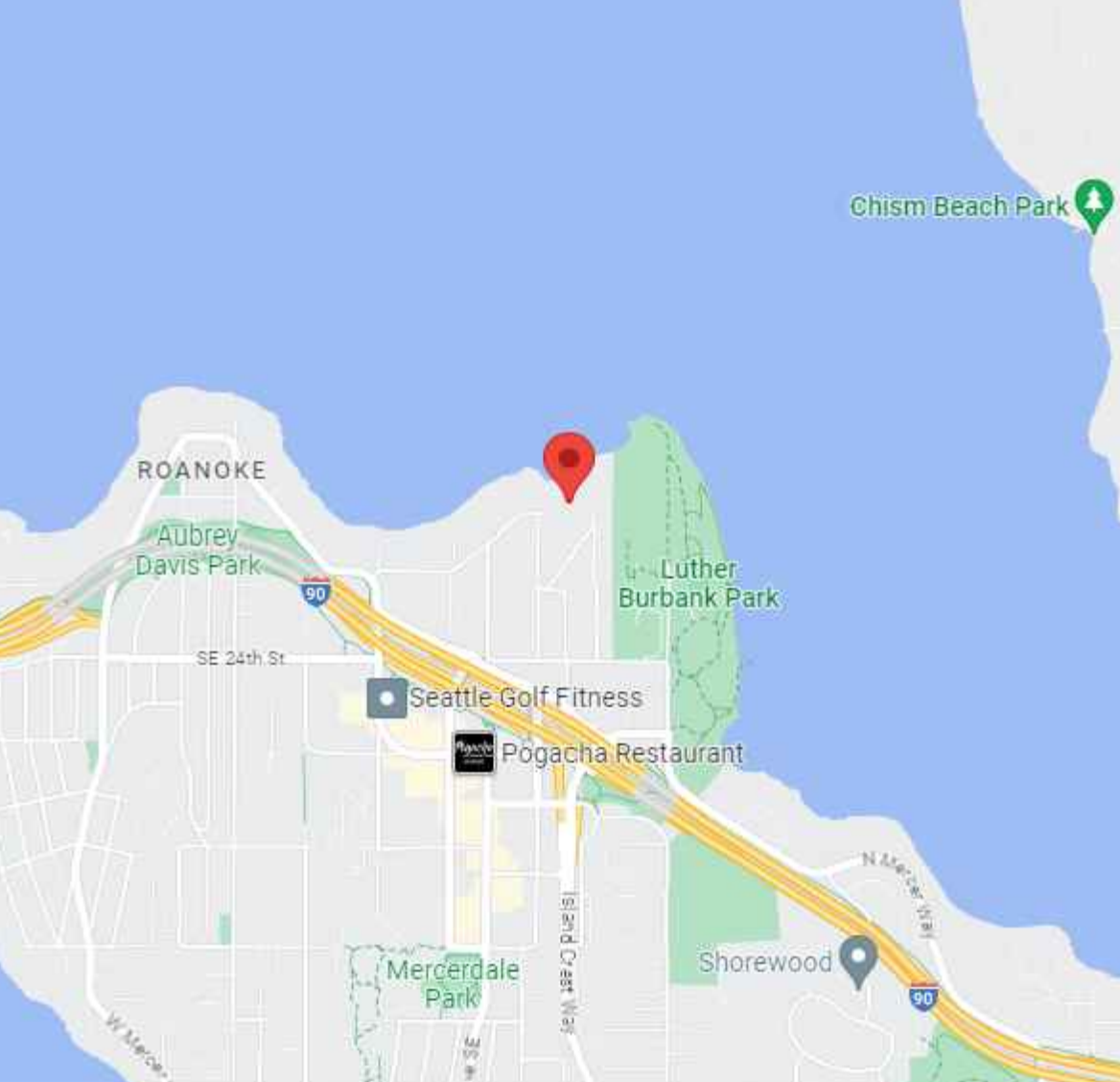
AVERAGE BUILDING ELEVATION			
	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
A	24.20	62.80	1519.76
B	22.50	57.80	1300.50
C	29.60	57.80	1710.88
D	18.70	57.70	1078.99
E	5.50	63.10	347.05
F	3.10	63.40	196.54
	103.60	362.60	6153.72
	6153.72		
	59.40	Average Building Elevation	

DUTY OF COOPERATION

RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS. FAILURE TO DO SO SHALL RELIEVE STURMAN ARCHITECTS FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF STURMAN ARCHITECTS ARE UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE STURMAN ARCHITECTS OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH ACTIONS.

VICINITY MAP



SITE PLAN
SCALE: 1" = 20'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CORRECTION SET 1 7/2/2025

STURMAN ARCHITECTS

REGISTERED ARCHITECT

BRADLEY L. STURMAN
STATE OF WASHINGTON

9 - 103rd Ave NE Suite 203
Bellevue, WA 98004
TEL: 425.451.7003

ONIELL RESIDENCE

8030 SE 20TH ST
MERCER ISLAND, WA 98040

SITE PLAN

REVISIONS:
CORRECTION 1 2025-6-3

PLOT DATE: 7/2/2025

DRAWN BY: JM

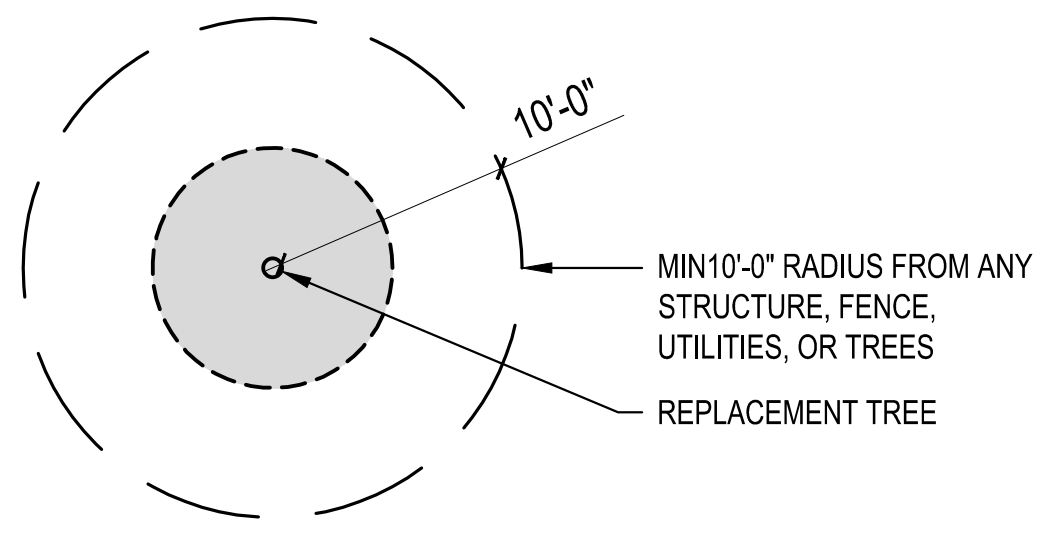
CHECKED BY: BJS

SHEET

A1.0

PLAN NOTES

REPLACEMENT TREE



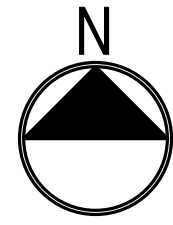
TREES 2, 22, AND 23 ARE PROPOSED TO BE REMOVED.

TREES 2 AND 23 HAVE A DBH OF 10-24". 2 REPLACEMENT TREES REQUIRED PER TREE
TREE 22 HAS A DBH OF LESS THAN 10". 1 REPLACEMENT TREE IS REQUIRED PER TREE

A TOTAL OF 5 REPLACEMENT TREES ARE REQUIRED. 5 TREES WILL BE PROVIDED

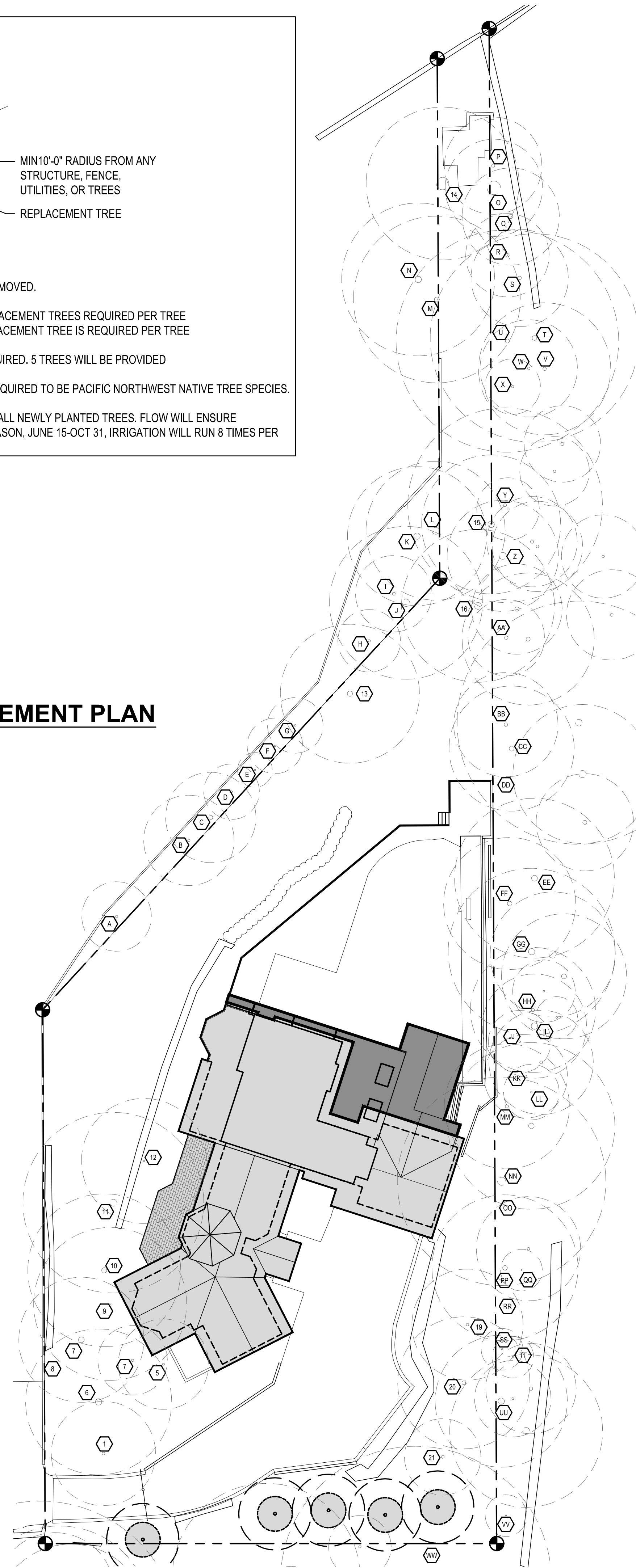
HALF (3) OF THE REPLACEMENT TREES ARE REQUIRED TO BE PACIFIC NORTHWEST NATIVE TREE SPECIES.

DRIP IRRIGATION WILL BE PROVIDED AROUND ALL NEWLY PLANTED TREES. FLOW WILL ENSURE SATURATION OF ROOT ZONE. DURING DRY SEASON, JUNE 15-OCT 31, IRRIGATION WILL RUN 8 TIMES PER MONTH



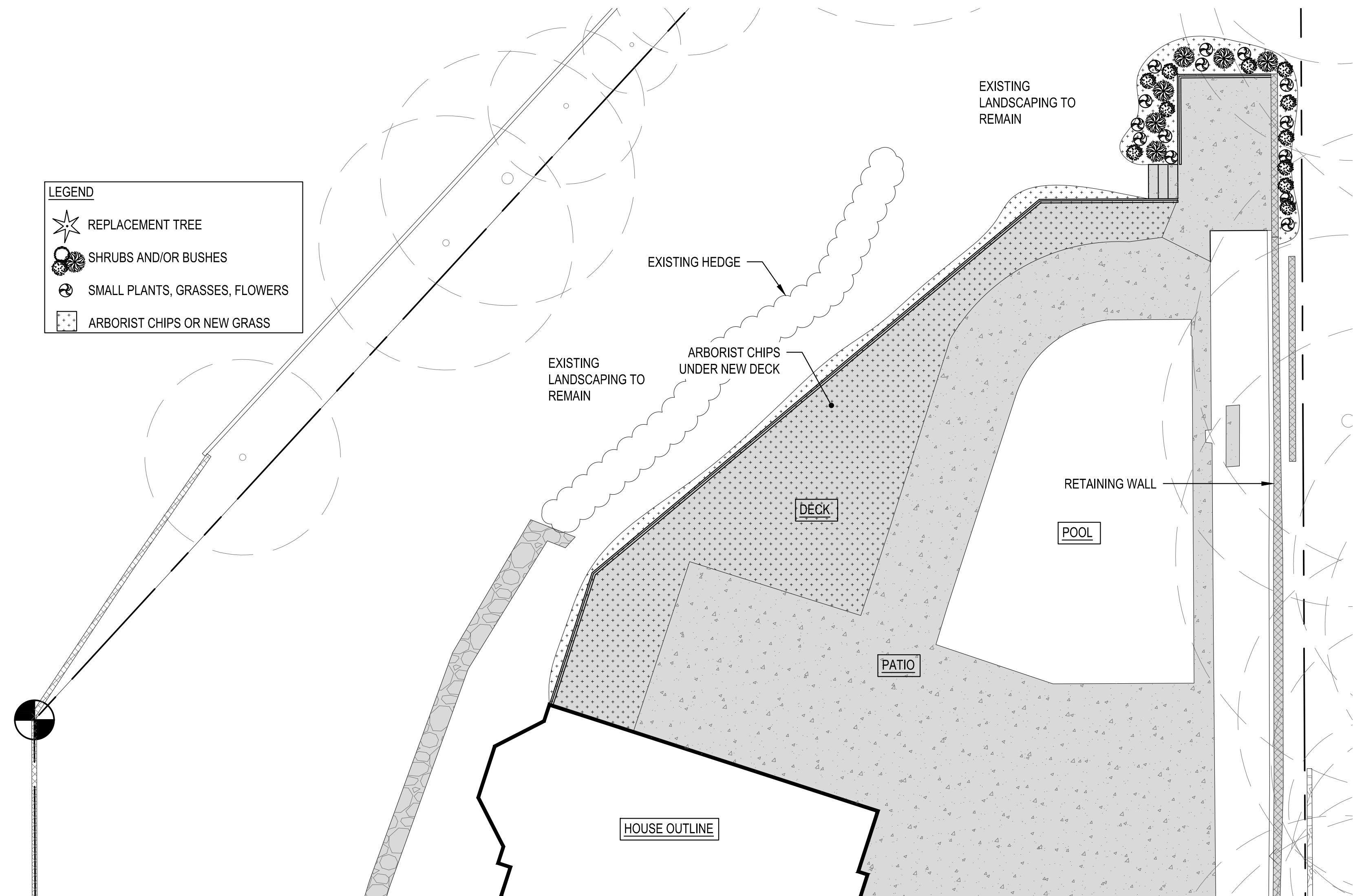
TREE REPLACEMENT PLAN

SCALE: 1" = 20'-0"



LEGEND

- REPLACEMENT TREE
- SHRUBS AND/OR BUSHES
- SMALL PLANTS, GRASSES, FLOWERS
- ARBORIST CHIPS OR NEW GRASS



DECK/PATIO AREA PARTIAL LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

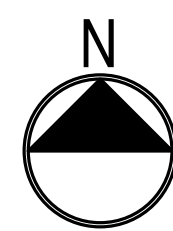


DRIVEWAY AREA PARTIAL LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

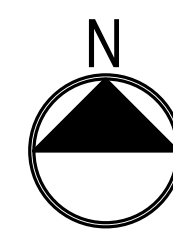
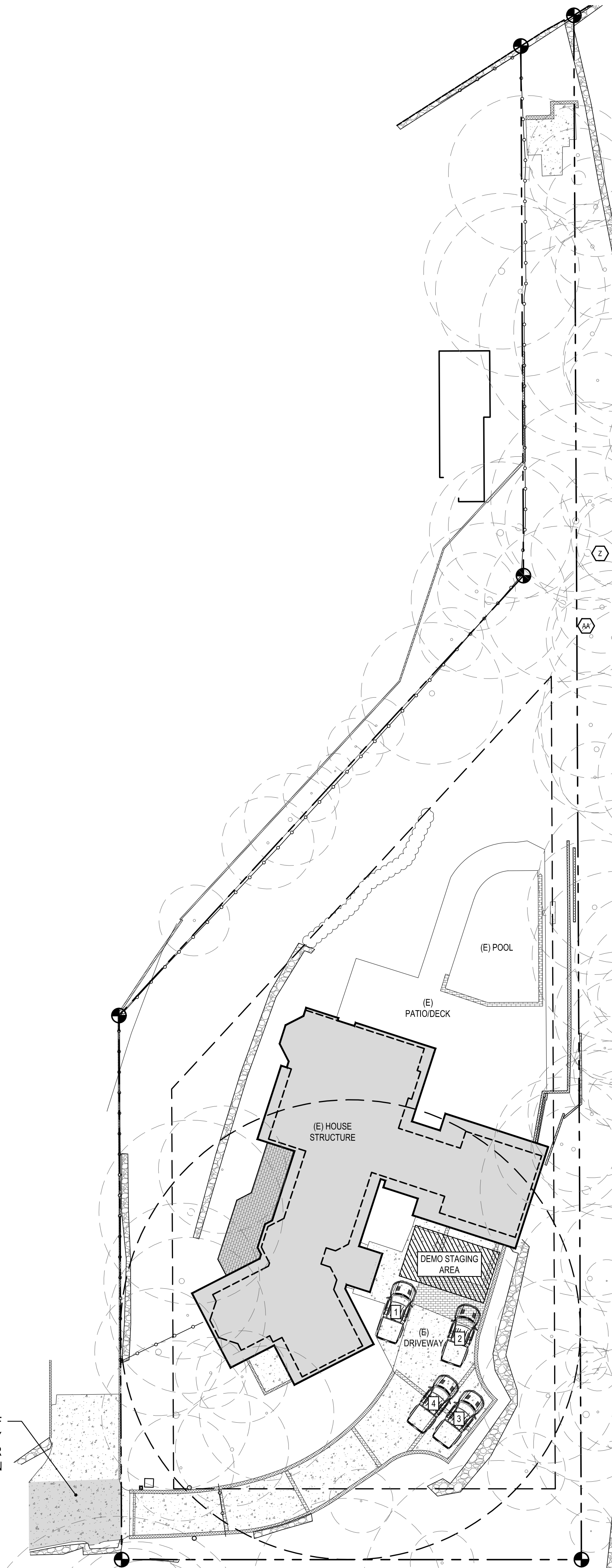
REVISIONS:	
	CORRECTION 1 2025-6-3
PLOT DATE:	7/2/2025
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	



PORTION OF NEIGHBOR'S DRIVEWAY TO BE KEPT CLEAR AND CLEAN

DEMOLITION STAGING PLAN

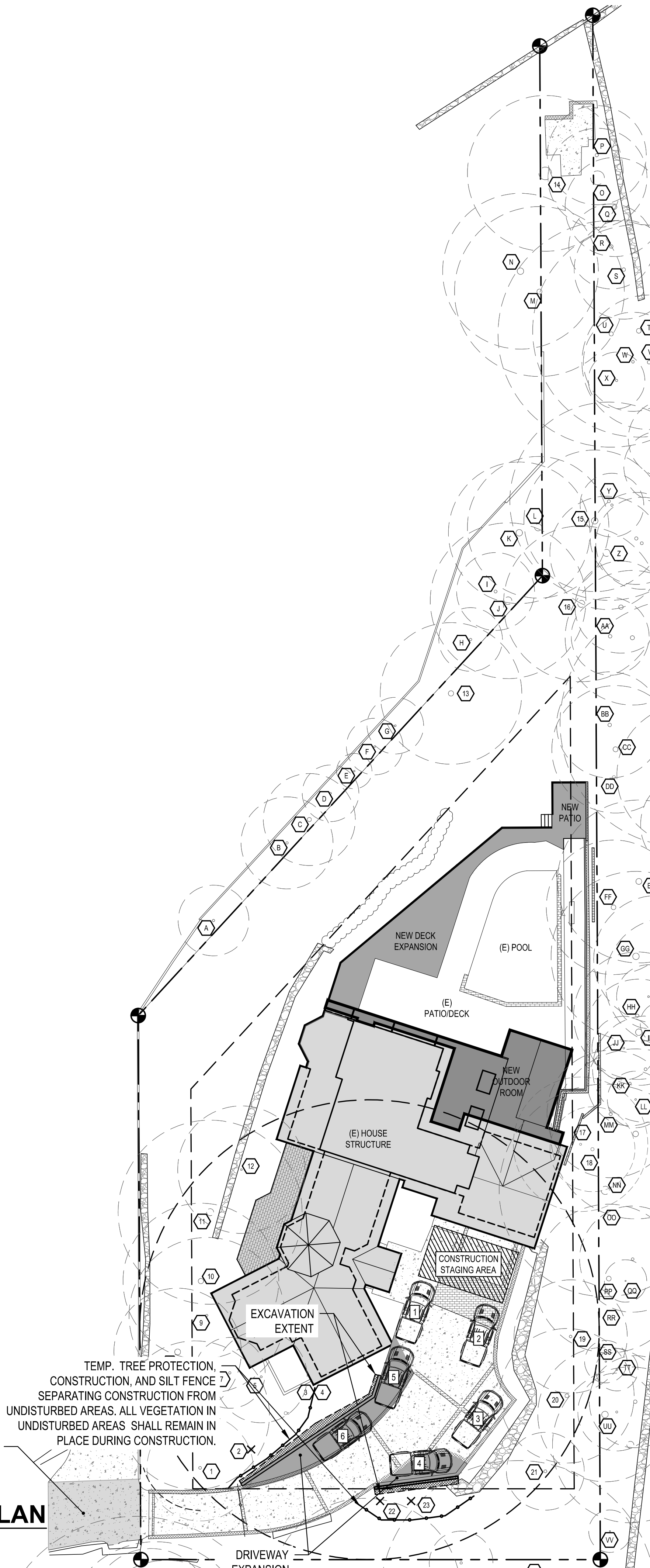
SCALE: 1" = 20'-0"



PORTION OF NEIGHBOR'S DRIVEWAY TO BE KEPT CLEAR AND CLEAN

CONSTRUCTION STAGING PLAN

SCALE: 1" = 20'-0"



SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

CORRECTION SET 1

7/2/2025

REVISIONS:	
▲	CORRECTION 1 2025-6-3
▲	
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▲	

PLOT DATE: 7/2/2025

DRAWN BY: JM

CHECKED BY: BJS

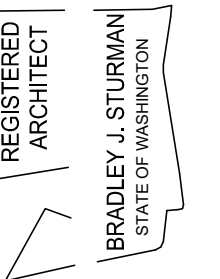
SHEET

A1.3

ONIELL RESIDENCE

8030 SE 20TH ST
MERCER ISLAND, WA 98040

CONST. MGMT. PLANS



TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

PER STATUTORY WARRANTY DEED RECORDING #20220819000324

THAT PORTION OF UNPLATTED TRACT "A" AS SHOWN ON THE PLAT OF MERCER BEACH PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 46 OF PLATS, PAGE 7, IN KING COUNTY, WASHINGTON, LYING EASTERLY AND SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF TRACT "A" WITH A LINE 20 FEET EAST OF AND PARALLEL TO THE EAST LINE OF TRACT "B" OF SAID MERCER BEACH PARK;
 THENCE NORTH 01°17'00" WEST ALONG SAID LINE 20 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID TRACT "B", A DISTANCE OF 153.59 FEET;
 THENCE NORTH 42°36'06" EAST 168.73 FEET TO A POINT ON A LINE PARALLEL TO AND 15 FEET WESTERLY OF EAST LINE OF SAID TRACT "A";
 THENCE NORTH 01°17'00" WEST PARALLEL TO THE EAST LINE OF SAID TRACT "A" TO THE LINE OF ORDINARY HIGH WATER OF LAKE WASHINGTON;

TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING AND LYING EASTERLY OF EXTENSION OF THE ABOVE DESCRIBED LINE;

TOGETHER WITH AN EASEMENT OVER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY FOR INGRESS AND EGRESS TO AND FROM THE ABOVE DESCRIBED PROPERTY;

THE PORTION OF THE UNPLATTED TRACT "A" AS SHOWN ON THE PLAT OF MERCER BEACH PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 46 OF PLATS, PAGE 7, IN KING COUNTY, WASHINGTON, LYING WESTERLY AND SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID TRACT A WITH A LINE 20 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID TACT "B" OF MERCER BEACH PARK;
 THENCE NORTH 01°17'00" WEST 34.42 FEET;
 THENCE SOUTH 89°43'00" WEST 20 FEET TO THE SOUTHEAST CORNER OF SAID TRACT "B".

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

ACCEPTED THE BEARING OF N 00°03'00" W BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 80TH AVE SE, PER REFERENCE NO. 1.

REFERENCES

- R1. MERCER BEACH PARK, VOL. 46 OF PLATS, PG. 7, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 37, PG. 162, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

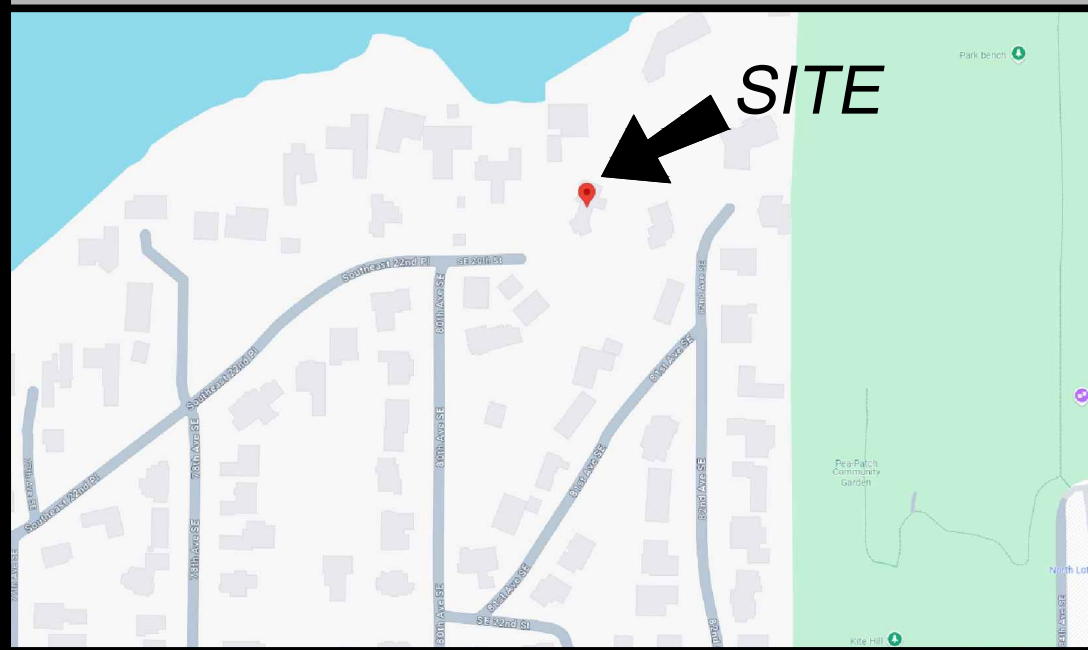
NAVD 88 PER GPS OBSERVATIONS
 SITE TEMP. BENCHMARK
 DESCRIPTION: PK NAIL W/ RED WASHER
 LOCATION: 11.6'N AND 54.9'W FROM SW PROP COR
 ELEVATION: 29.91'

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN SEPTEMBER OF 2024 THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 5452302220
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 31,241 ±S.F. (0.72 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

VICINITY MAP

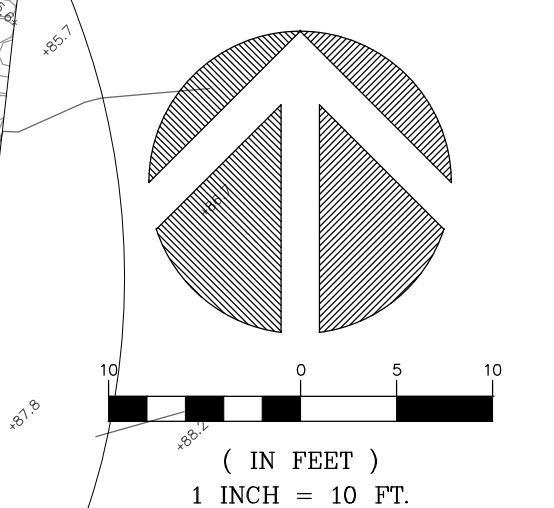
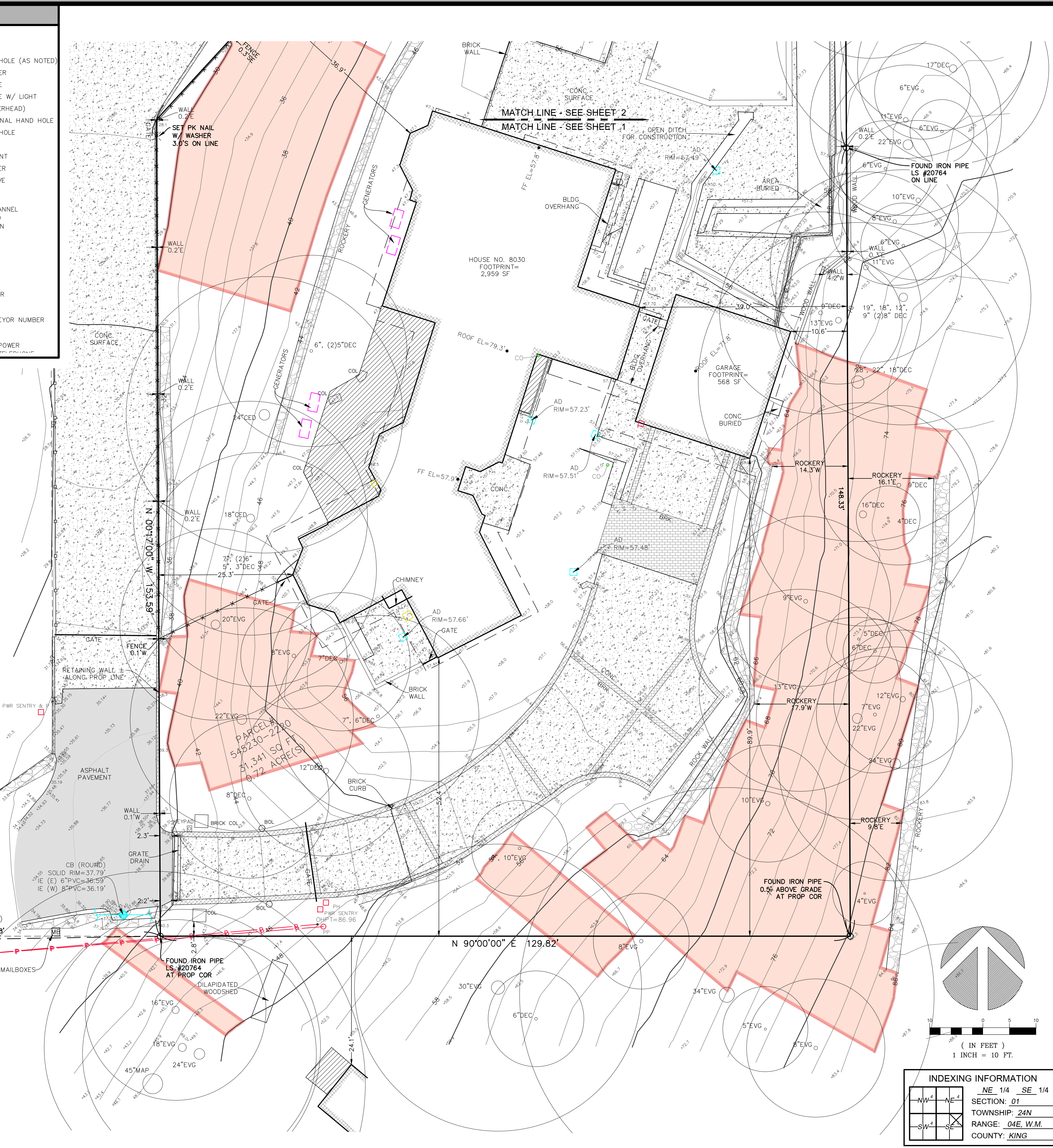
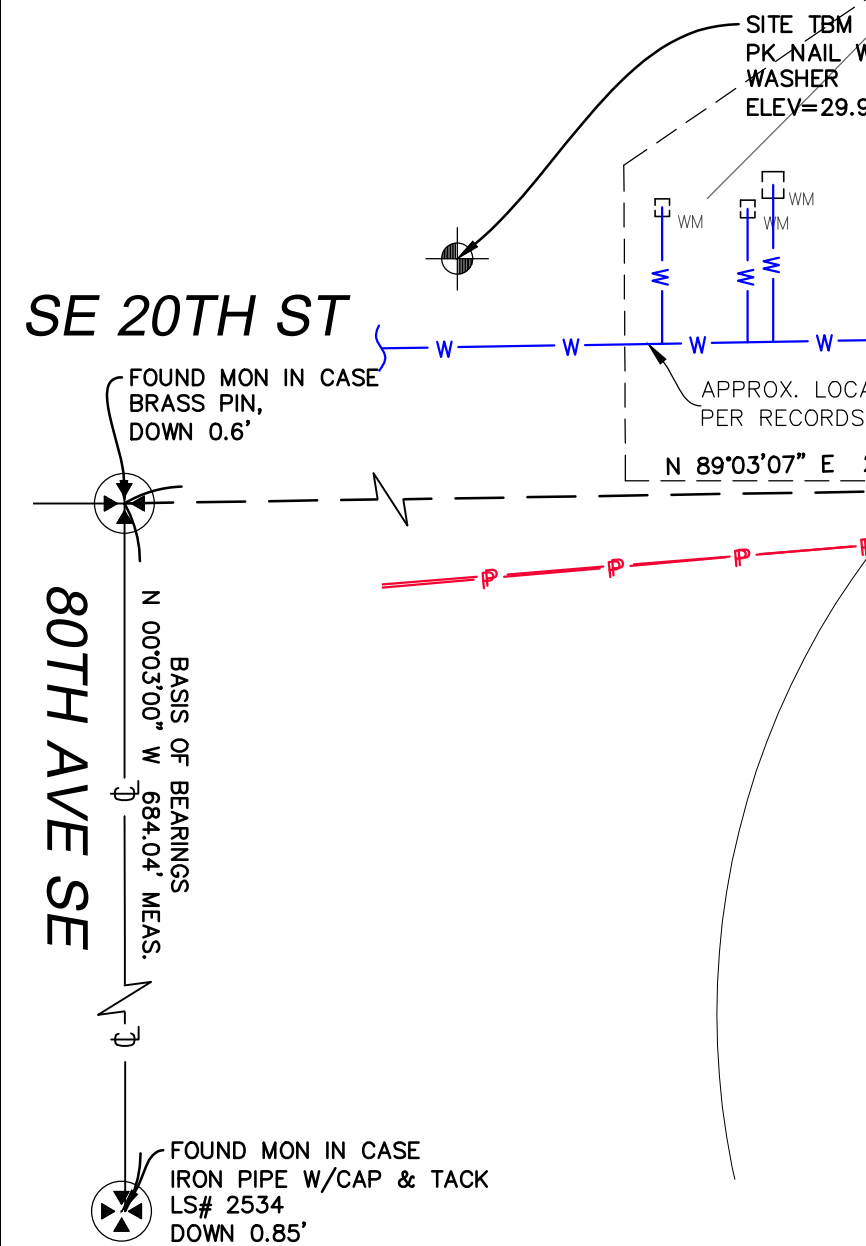
N.T.S.



LEGEND

	BENCHMARK		GAS METER
	BRASS DISC (FOUND)		GAS VALVE
	CENTERLINE ROW		MAINTENANCE HOLE (AS NOTED)
	FENCE LINE (CHAIN LINK)		POWER METER
	FENCE LINE (IRON)		POWER POLE
	FENCE LINE (WOOD)		POWER POLE W/ LIGHT
	MONUMENT (IN CASE, FOUND)		POWER (OVERHEAD)
	MONUMENT (SURFACE, FOUND)		TRAFFIC SIGNAL HAND HOLE
	NAIL AS NOTED		SEWER MANHOLE
	PROPERTY LINES (ADJACENT)		SEWER LINE
	PROPERTY LINE (SUBJECT)		FIRE HYDRANT
	REBAR & CAP (SET)		WATER METER
	REBAR AS NOTED (FOUND)		WATER VALVE
	RETAINING WALL		WATER LINE
	MAILBOX (RESIDENTIAL)		BUILDING
	BUILDING		CENTER CHANNEL
	POST		CALCULATED
	TREE (AS NOTED)		CATCH BASIN
	ASPHALT SURFACE		CLEANOUT
	BRICK SURFACE		COLUMN
	CONCRETE SURFACE		CORNER
	DECK		DECIDUOUS
	FLAGSTONE SURFACE		ELEVATION
	PAVER SURFACE		EVERGREEN
	ROCKERY		FINISH FLOOR
	STEEP SLOPE AREA		GAS
	HANDRAIL		HANDHOLE
			LAND SURVEYOR NUMBER
			MEASURED
			MONUMENT
			OVERHEAD POWER

STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



INDEXING INFORMATION	
NE 1/4	SE 1/4
SECTION: 01	TOWNSHIP: 24N
RANGE: 04E, W.M.	COUNTY: KING

TERRANE

11235 SE 6th St, Suite 130
 Bellevue, WA 98004
 p: 425-458-4488 | e: info@terrane.net

JOB NUMBER: 8196
 DATE: 09/27/24
 DRAFTED BY: TLR/LSA
 CHECKED BY: JGM
 SCALE: 1" = 10'
 REVISION HISTORY

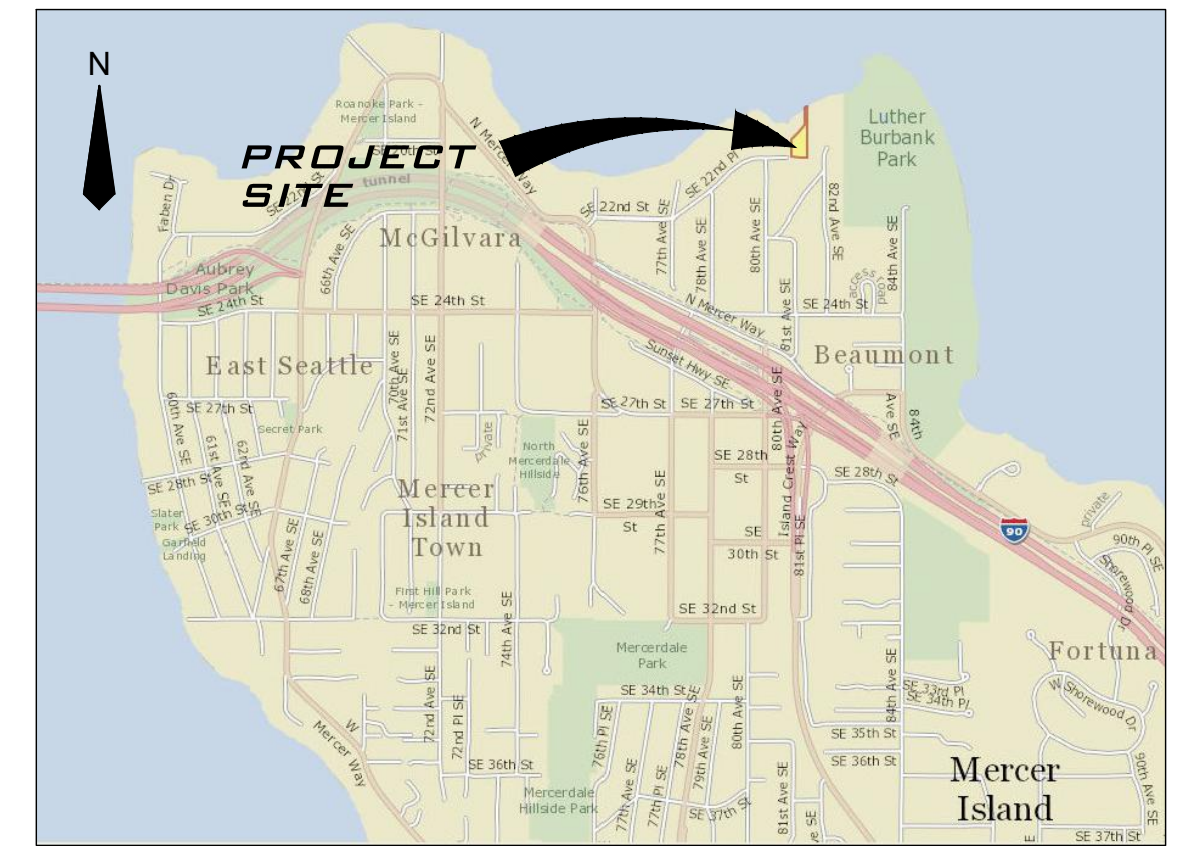
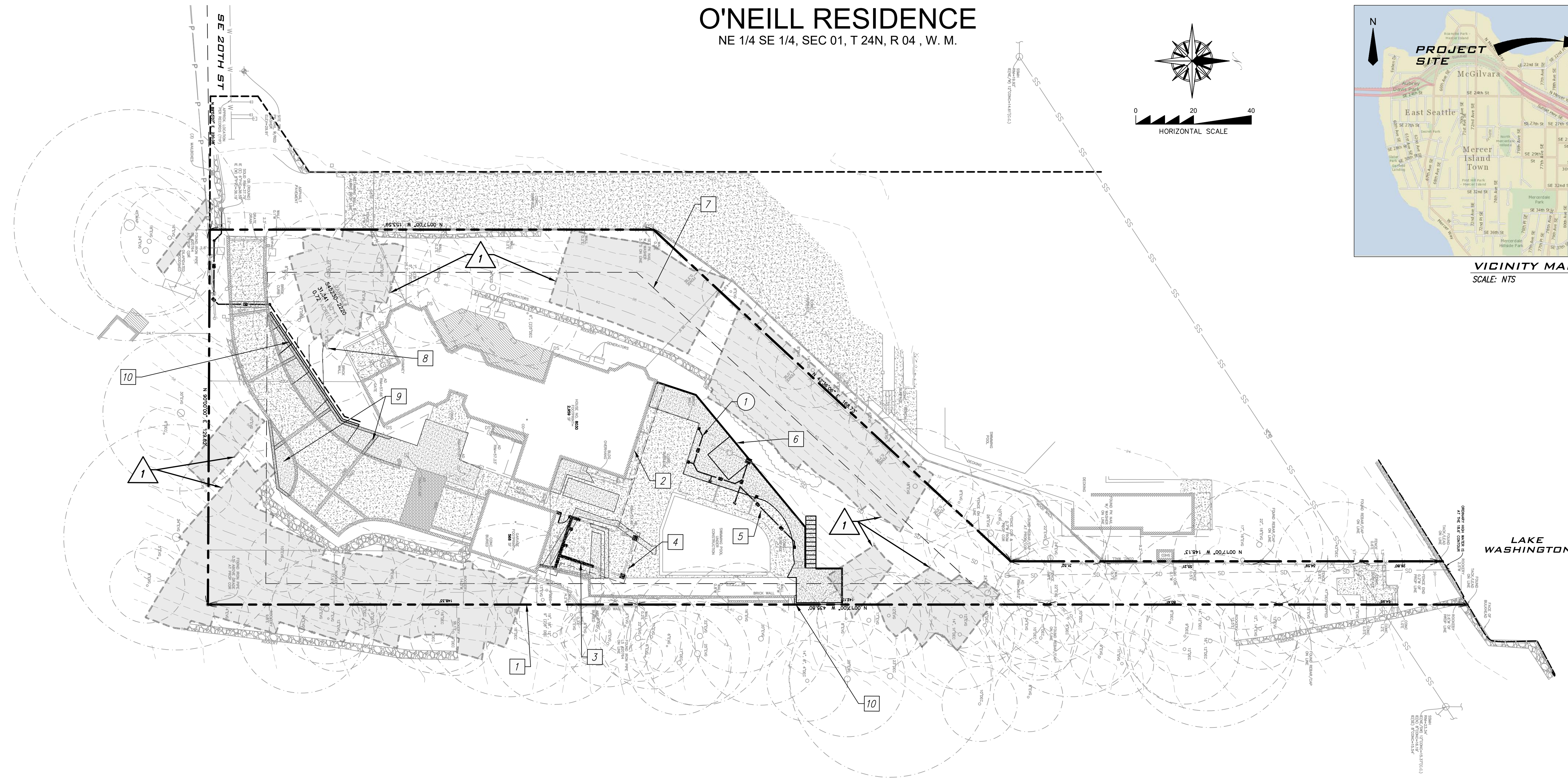
SHEET NUMBER
 1 OF 3

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 5452302220
 O'NEILL RESIDENCE
 8030 SE 20TH ST
 MERCER ISLAND, WA 98040

We are the measure | terrane.net

O'NEILL RESIDENCE

NE 1/4 SE 1/4, SEC 01, T 24N, R 04, W. M.



VICINITY MAP
SCALE: NTS

R#	DATE	DESCRIPTION	BY
1	6/27/25	CITY COMMENTS DATED 6/6/25	NM

CITY OF MERCER ISLAND
**COVER SHEET AND
SITE PLAN**

PATRICK HARRON & ASSOCIATES, LLC
Civil Engineering & Planning
14900 Interurban Ave. S, Suite 279, Seattle, WA 98168
Phone: 206.674.4659
Web: patrickharron.com

PROJ. NO. 24020	DSN. BY: SS
DSN. BY: SS	CHK. BY: SC

O'NEILL RESIDENCE
O'NEILL
8030 SE 20TH ST
MERCER ISLAND WA 98040

DATE: 6/27/25
SCALE: AS SHOWN
DRAWING NO. C1.0
1 OF 5

PROJECT INFORMATION:

DEVELOPMENT DATA:
PROJECT NAME: O'NEILL RESIDENCE
PROPERTY AREA: 31,140 SF (0.71 AC)
SITE ADDRESS: 8030 SE 20 TH ST, MERCER ISLAND, WA 98040
PARCEL NUMBER: 5452302220
ZONED: R-12

BUILDING SETBACKS:
FRONT YARD: 20.0 FT
SIDE YARD: 22.0 FT TOTAL (MIN 7.26 FT)
REAR YARD: 25.0 FT

LOT COVERAGE (BLDG): 40% (MAX)

UTILITIES:
SEWER: MERCER ISLAND PUBLIC WORKS
WATER: MERCER ISLAND PUBLIC WORKS
POWER: PUGET SOUND ENERGY
SCHOOLS: LAKE WASHINGTON #414
FIRE DISTRICT: MERCER ISLAND FIRE DEPARTMENT

DATUM:

VERTICAL DATUM - NAVD 88 PER GPS OBSERVATIONS
SITE TEMP. BENCHMARK DESCRIPTION: PK NAIL W/ RED WASHER
LOCATION: 11.6'N AND 54.9'W FROM SW PROP COR
ELEVATION: 29.91'

HORIZONTAL DATUM (BASIS OF BEARINGS)
ACCEPTED THE BEARING OF N 00°03'00" W BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 80TH AVE SE, PER REFERENCE NO. 1.

LEGAL DESCRIPTION:

PER STATUTORY WARRANTY DEED RECORDING #20220819000324

THAT PORTION OF UNPLATTED TRACT "A" AS SHOWN ON THE PLAT OF MERCER BEACH PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 46 OF PLATS, PAGE 7, IN KING COUNTY, WASHINGTON, LYING EASTERLY AND SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF TRACT "A" WITH A LINE 20 FEET EAST OF AND PARALLEL TO THE EAST LINE OF TRACT "B" OF SAID MERCER BEACH PARK; THENCE NORTH 01°17'00" WEST ALONG SAID LINE 20 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID TRACT "B", A DISTANCE OF 153.59 FEET; THENCE NORTH 42°36'06" EAST 168.73 FEET TO A POINT ON A LINE PARALLEL TO AND 15 FEET WESTERLY OF EAST LINE OF SAID TRACT "A"; THENCE NORTH 01°17'00" WEST PARALLEL TO THE EAST LINE OF SAID TRACT "A" TO THE LINE OF ORDINARY HIGH WATER OF LAKE WASHINGTON;

TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING AND LYING EASTERLY OF EXTENSION OF THE ABOVE DESCRIBED LINE;

TOGETHER WITH AN EASEMENT OVER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY FOR INGRESS AND EGRESS TO AND FROM THE ABOVE DESCRIBED PROPERTY:

THE PORTION OF THE UNPLATTED TRACT "A" AS SHOWN ON THE PLAT OF MERCER BEACH PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 46 OF PLATS, PAGE 7, IN KING COUNTY, WASHINGTON, LYING WESTERLY AND SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SAID TRACT A WITH A LINE 20 FEET EAST OF AND PARALLEL TO THE EAST LINE OF SAID TRACT "B" OF MERCER BEACH PARK; THENCE NORTH 01°17'00" WEST 34.42 FEET; THENCE SOUTH 89°43'00" WEST 20 FEET TO THE SOUTHEAST CORNER OF SAID TRACT "B".

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

PROJECT TEAM:

OWNER:
HOT PINK TRUST AND LEGMAN
8030 SE 20TH ST
MERCER ISLAND, WA 98040
CONTACT: TIM & GINA O'NEILL

PROJECT ARCHITECT:
STURMAN ARCHITECTS
BRAD STURMAN
9-103RD AVE NE, SUITE 203
BELLEVUE, WA 98004
PH: (425) 451-7003
EMAIL: BRAD@STURMANARCHITECTS.COM

PROJECT CIVIL ENGINEER:
PATRICK HARRON & ASSOCIATES, LLC
SCHWIN CHAOSILAPAKUL, PE
14900 INTERURBAN AVENUE S #279
SEATTLE, WA 98168
PH: (206) 674-4659
EMAIL: SCHWIN@PATRICKHARRON.COM

PROJECT SURVEYOR:
TERRANE
JACOB MILLER
11235 SE 6TH ST, SUITE 130
BELLEVUE, WA 98004
PH: (425) 458-4488
EMAIL: INFO@TERRANE.NET

PROJECT GEOTECHNICAL ENGINEER:
GEOTECH CONSULTANTS, INC
MARC MCGINNIS
2401 10TH AVE EAST
SEATTLE, WA 98102
PH: (425) 747-5618
EMAIL: MARCM@GEOTECHNW.COM

SHEET LIST TABLE		
SHEET #	SHEET TITLE	SHEET DESCRIPTION
1	C1.0	COVER SHEET AND SITE PLAN
2	C2.0	TESC PLAN
3	C2.1	TESC DETAILS
4	C3.0	GRADING AND STORMWATER PLAN
5	C3.1	STORM DETAILS

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO CITY OF MERCER ISLAND STANDARDS.

STORM CALLOUTS:

- PROPOSED STORM DRAINAGE SYSTEM, TYP (SEE SHEET C3.0 FOR DRAINAGE PLAN).

CRITICAL AREAS CALLOUTS:

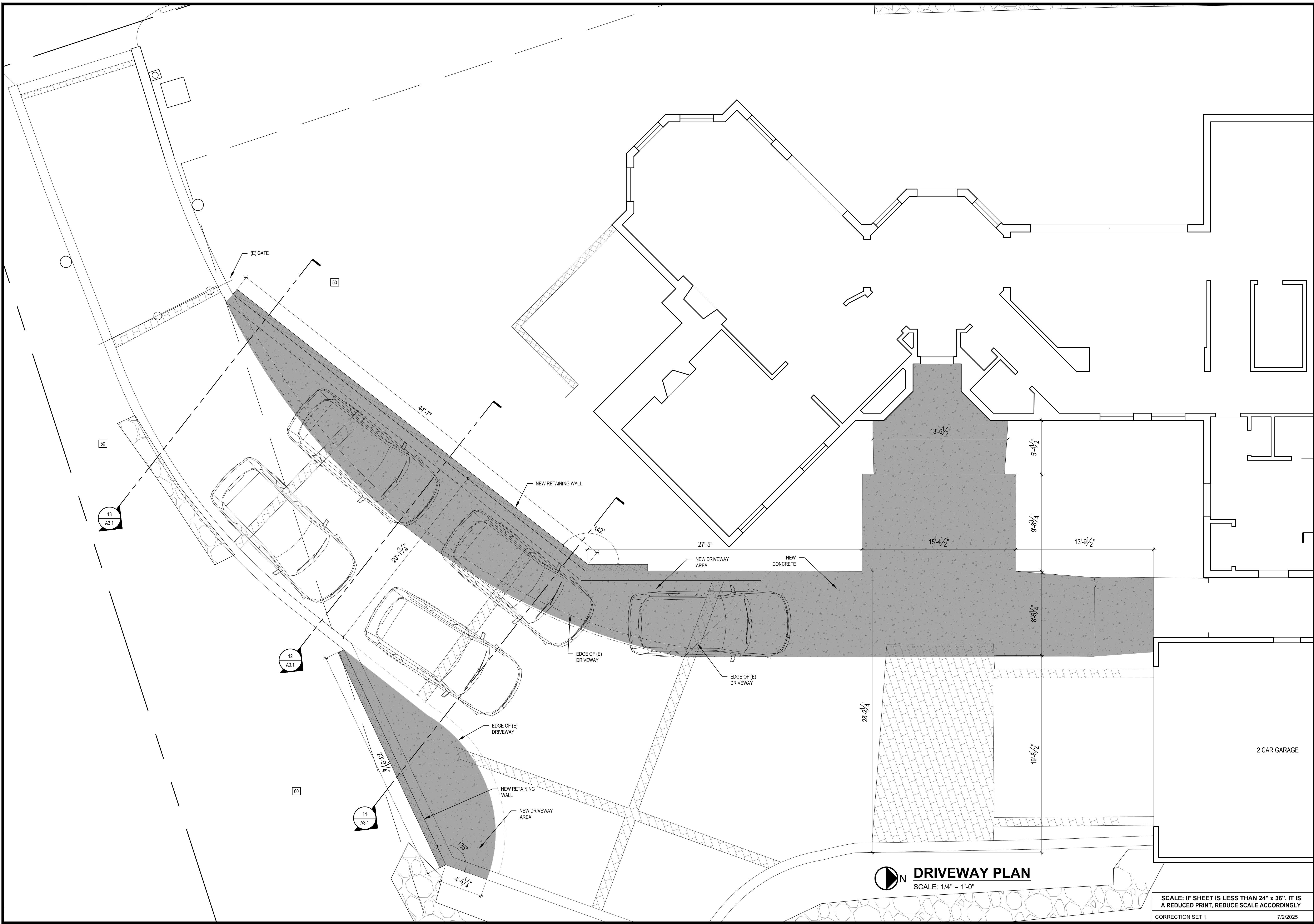
- STEEP SLOPE (PER TOPOGRAPHIC SURVEY)

SITE CALLOUTS:

- PROPERTY BOUNDARY, TYP.
- EXISTING BUILDING FOOTPRINT.
- PROPOSED BUILDING FOOTPRINT, TYP.
- PROPOSED BUILDING ROOFLINE, TYP.
- EXISTING DECK.
- PROPOSED DECK.
- BUILDING SETBACK LINE, TYP. SEE DEVELOPMENT DATA NOTES FOR MINIMUM SETBACKS.
- EXISTING TREES TO BE PROTECTED--IN-PLACE UNLESS OTHERWISE NOTED, TYP (SEE ARBORIST REPORT AND SHEET C2.0 FOR LIMITS OF DISTURBANCE AND TREE PROTECTION).
- PROPOSED ON-SITE CONCRETE DRIVEWAY/PARKING, TYP (SEE SHEET C3.0 FOR GRADING PLAN).
- PROPOSED CONCRETE RETAINING WALL (< 4.0'), TYP.

**CALL 48 HOURS
BEFORE YOU DIG
811**

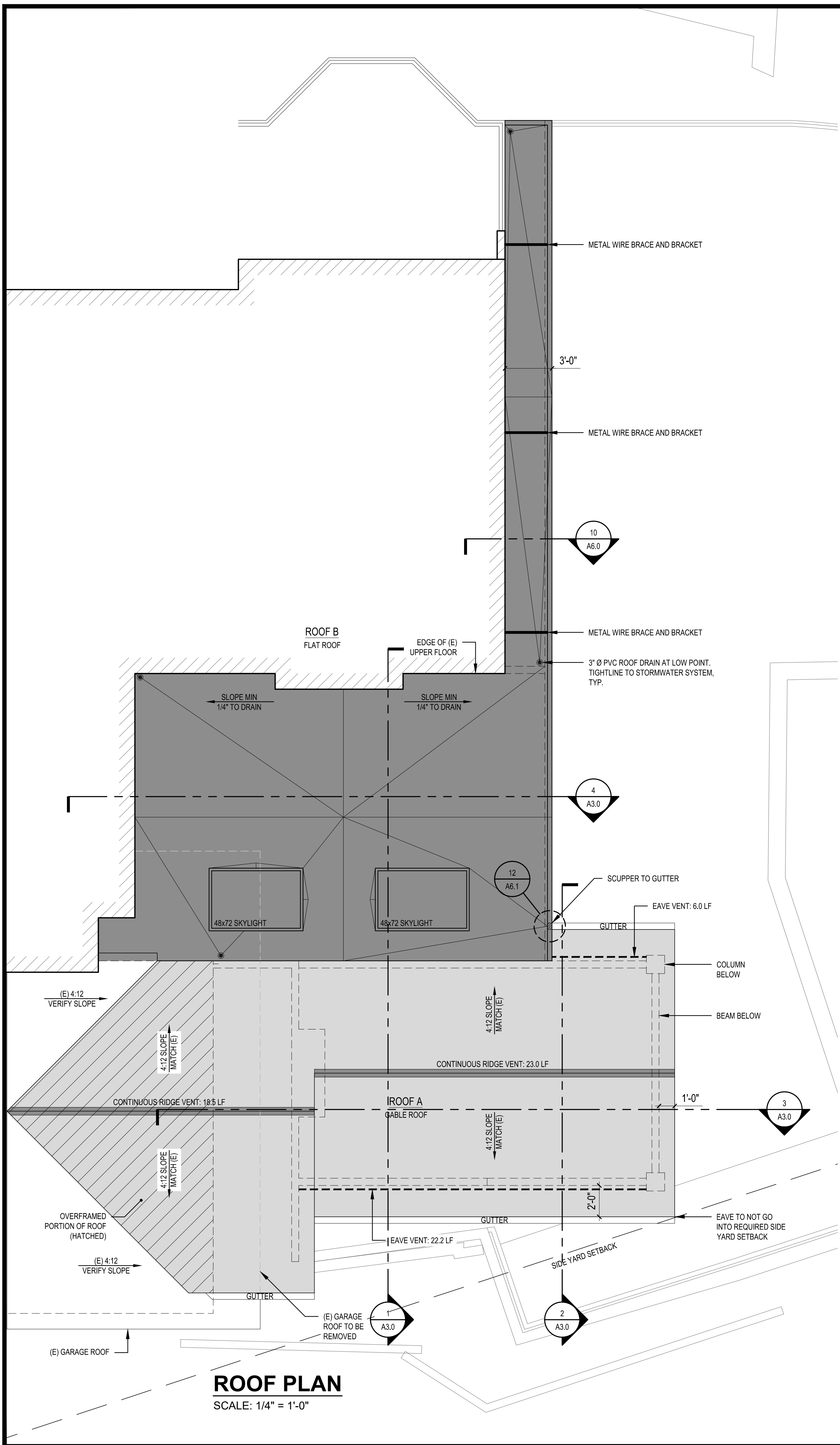
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 1-800-424-5555 OR 811 (CELL) A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



REVISIONS:	
▲ CORRECTION 1.2025-6-3	
▲	
▲	
▲	
▲	
▲	
PLOT DATE:	7/2/2025
DRAWN BY:	JM
CHECKED BY:	BJS

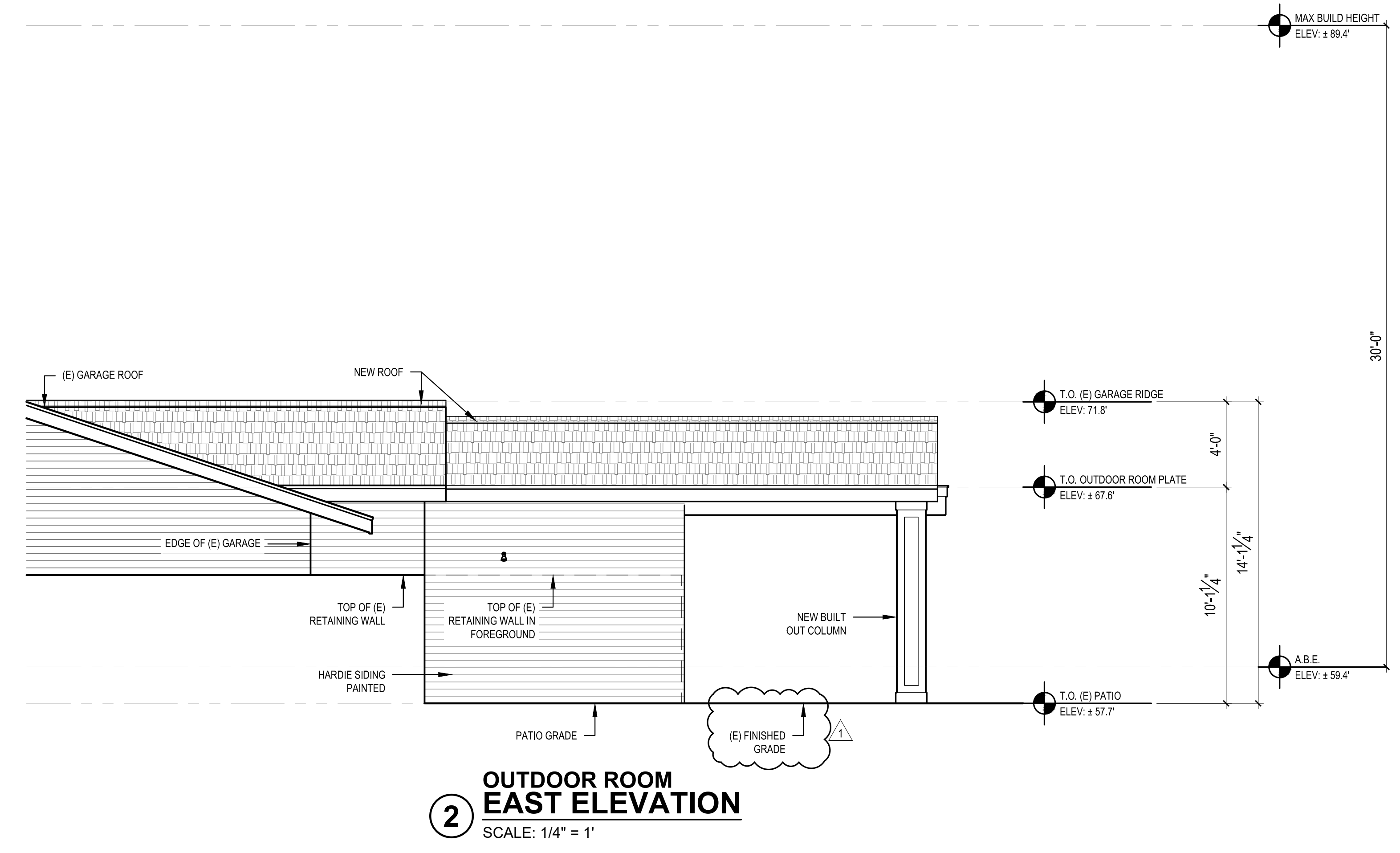
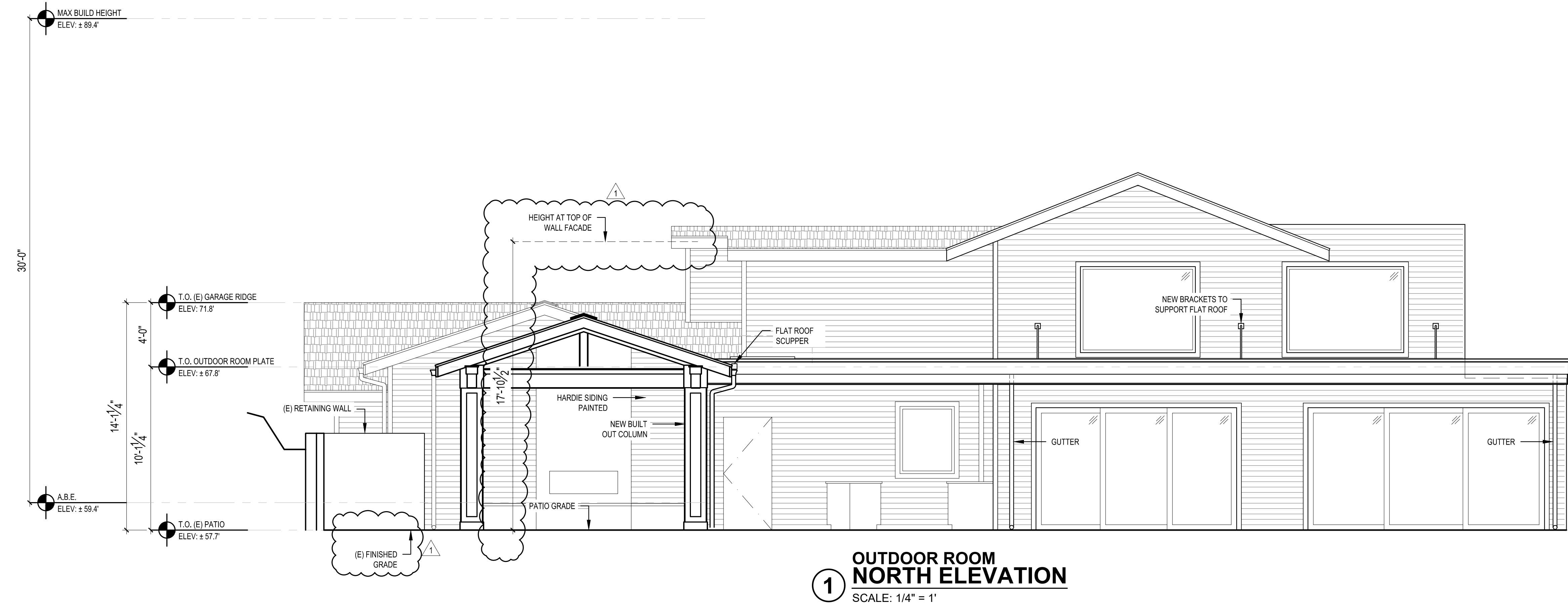
DRIVEWAY PLAN
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 CORRECTION SET 1 7/2/2025

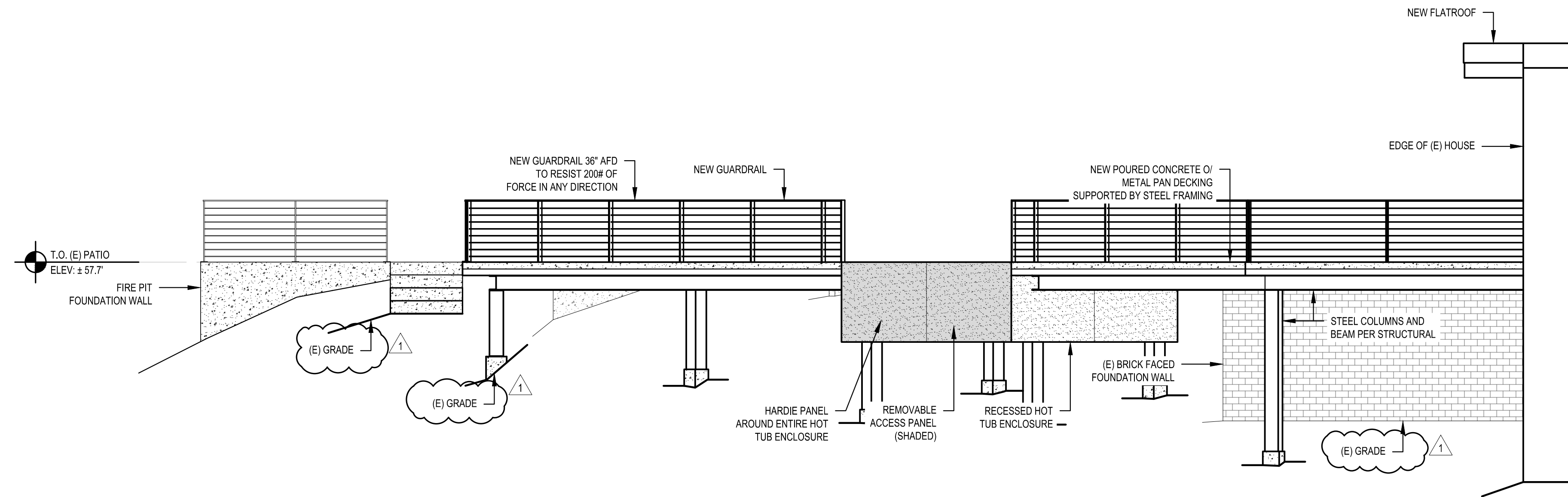


ROOF PLAN
SCALE: 1/4" = 1'-0"

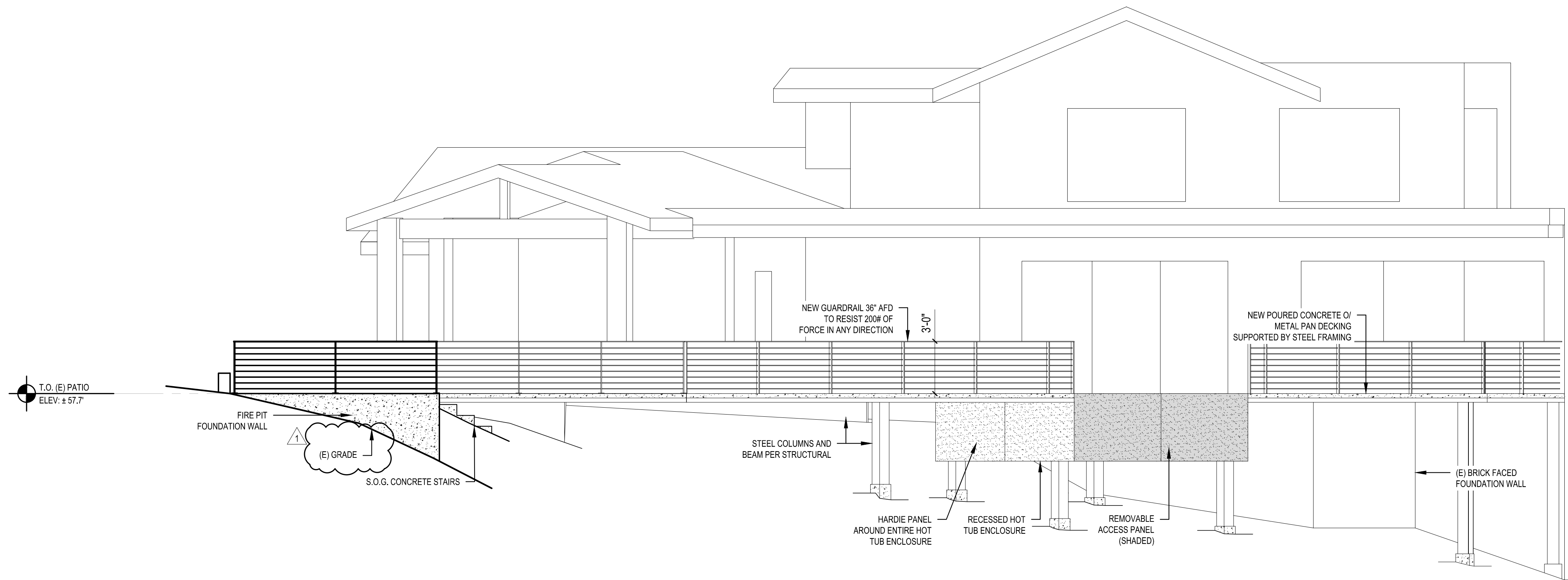
ROOF VENT CALCULATIONS										
CODE REQUIREMENT		CALCULATIONS						ACTUAL		
DESCRIPTION	SF AREA	REQ. VENTING		VENT TYPE		VENT L.F.	TOTAL VENT AREA SQ. IN.	SF CONVERT. 1/144	80% EFF	
		PER SF AREA		RIDGE	EAVE				FACTOR	TOTAL
		150	300							
ROOF A	671	4.47			10 SQ.IN./FT.	28.2	507.6	3.53	2.82	5.59
					1.5x1.0" VENT					
					12 SQ.IN./FT.	41.5	498	3.46		
					CONTINUOUS					
							0	0.00		
ROOF B	592	3.95		SPRAY FOAMED						



SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 CORRECTION SET 1 7/2/2025



4 DECK EXPANSION WEST ELEVATION
SCALE: 1/4" = 1'



3 DECK EXPANSION NORTH ELEVATION
SCALE: 1/4" = 1'

REVISIONS:

1	CORRECTION 1.2025-6-3
2	
3	
4	
5	

PLOT DATE: 7/2/2025

DRAWN BY: JM

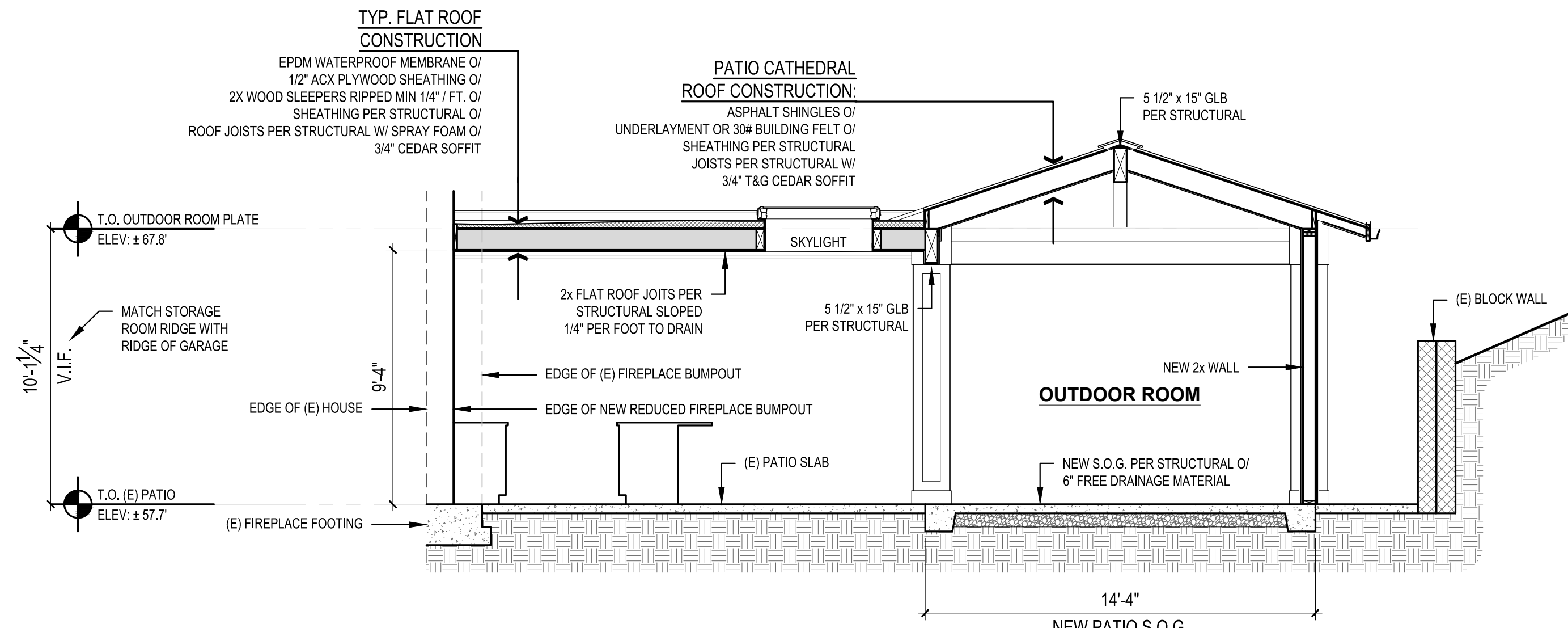
CHECKED BY: BJS

SHEET

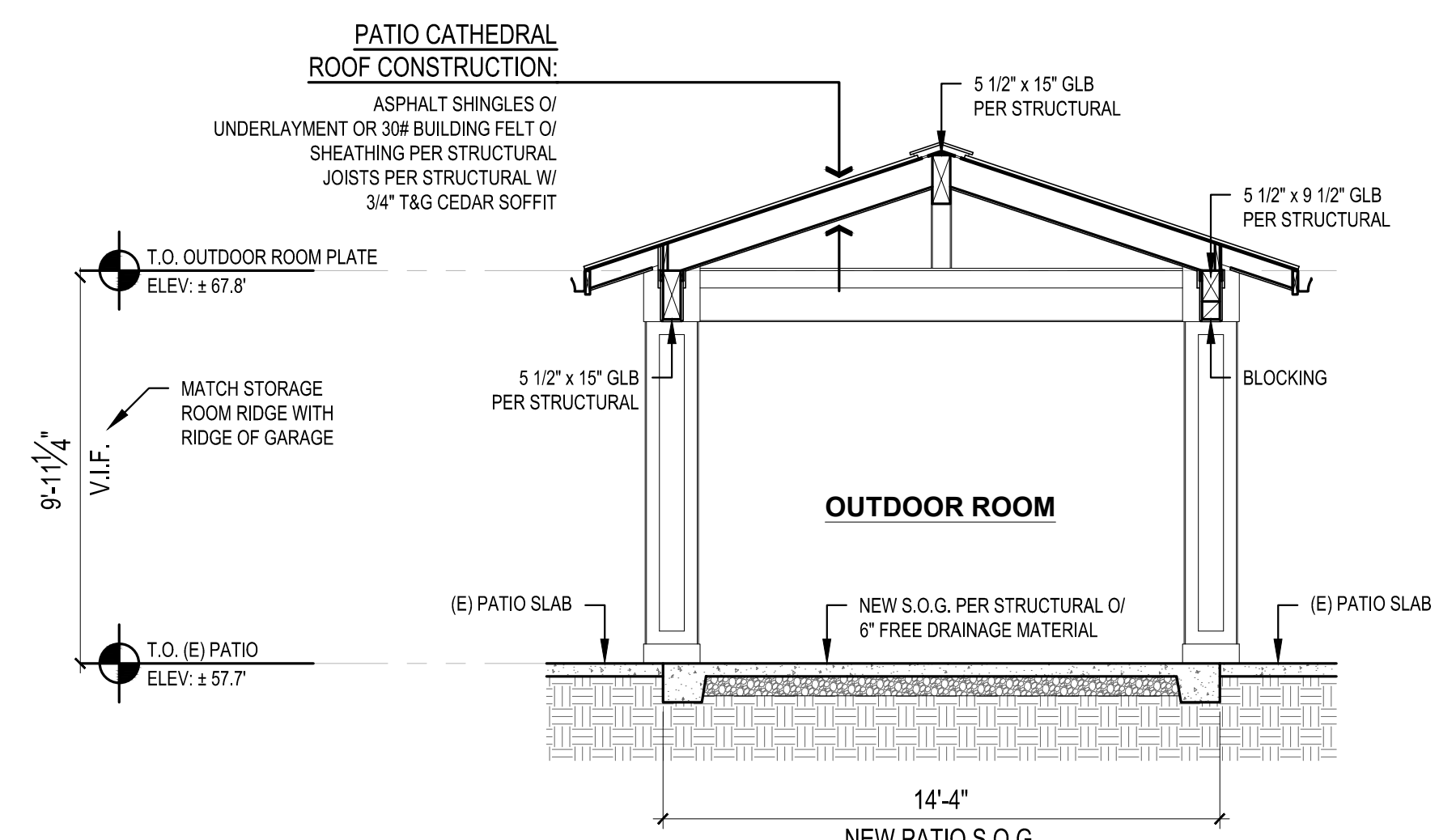
A3.1

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

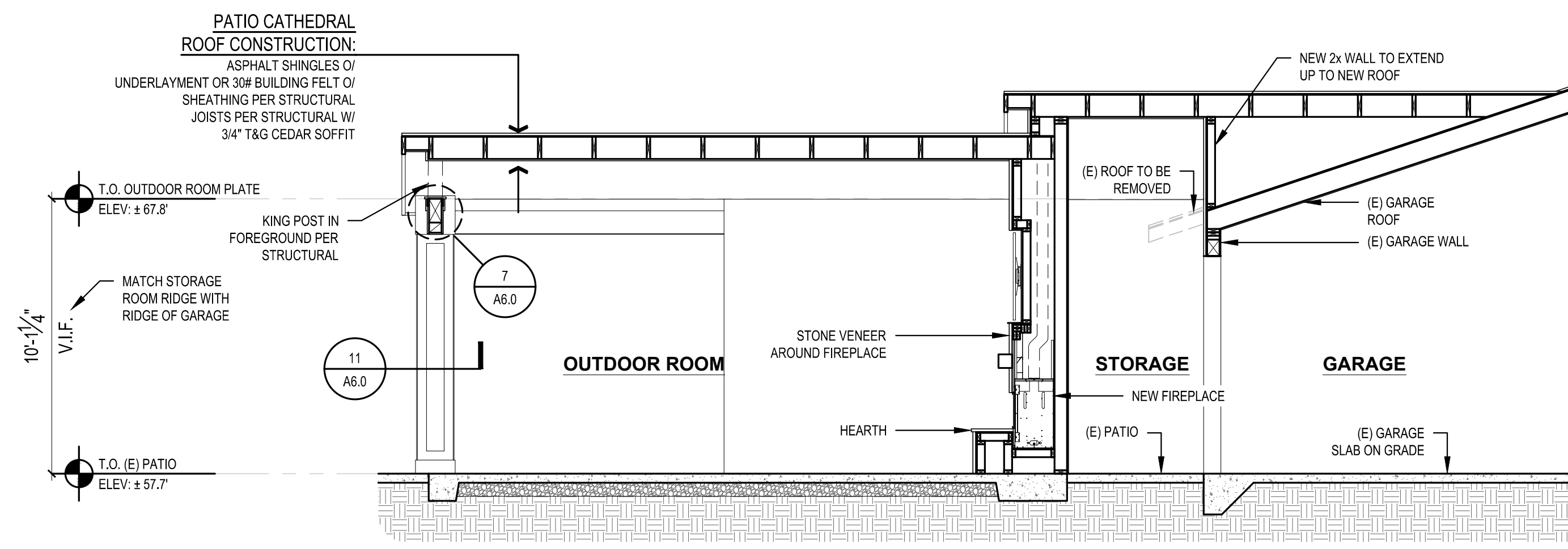
CORRECTION SET 1 7/2/2025



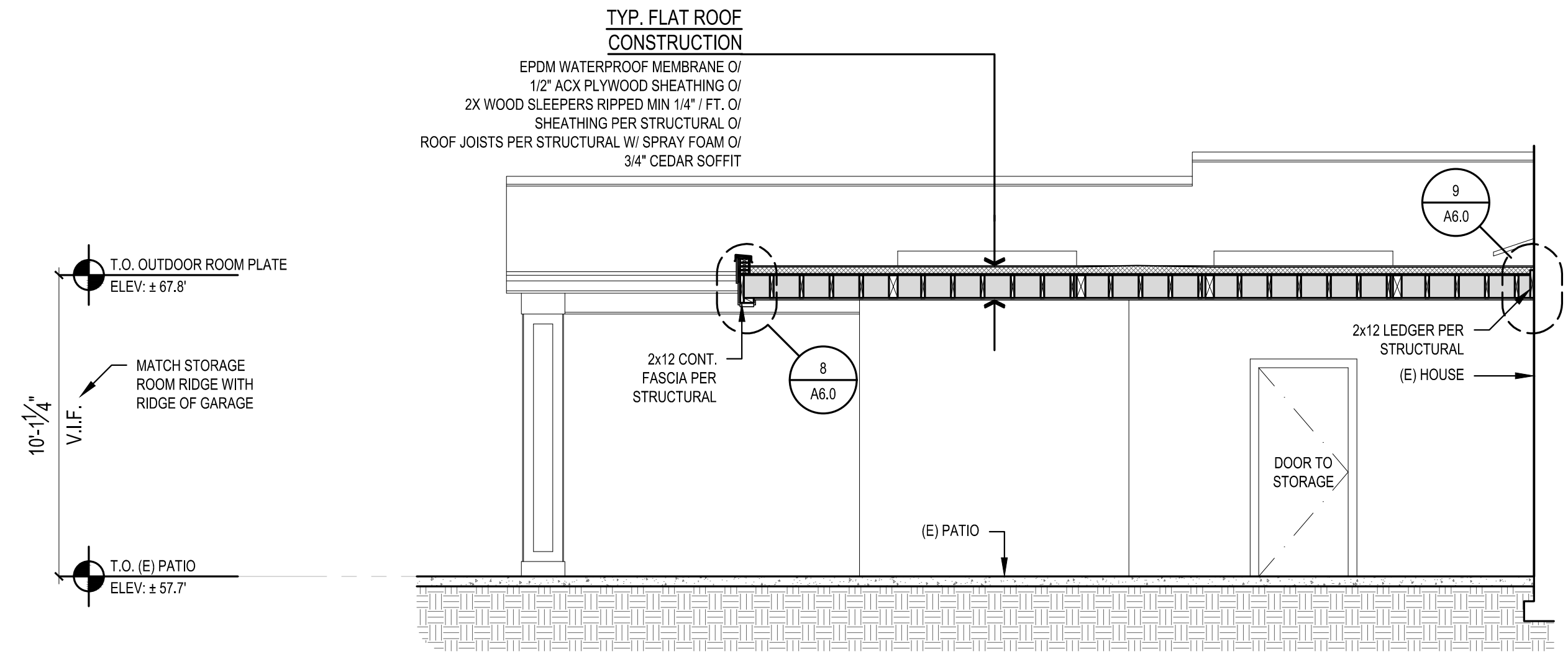
1 OUTDOOR ROOM SECTION
SCALE: 1/4" = 1'-0"



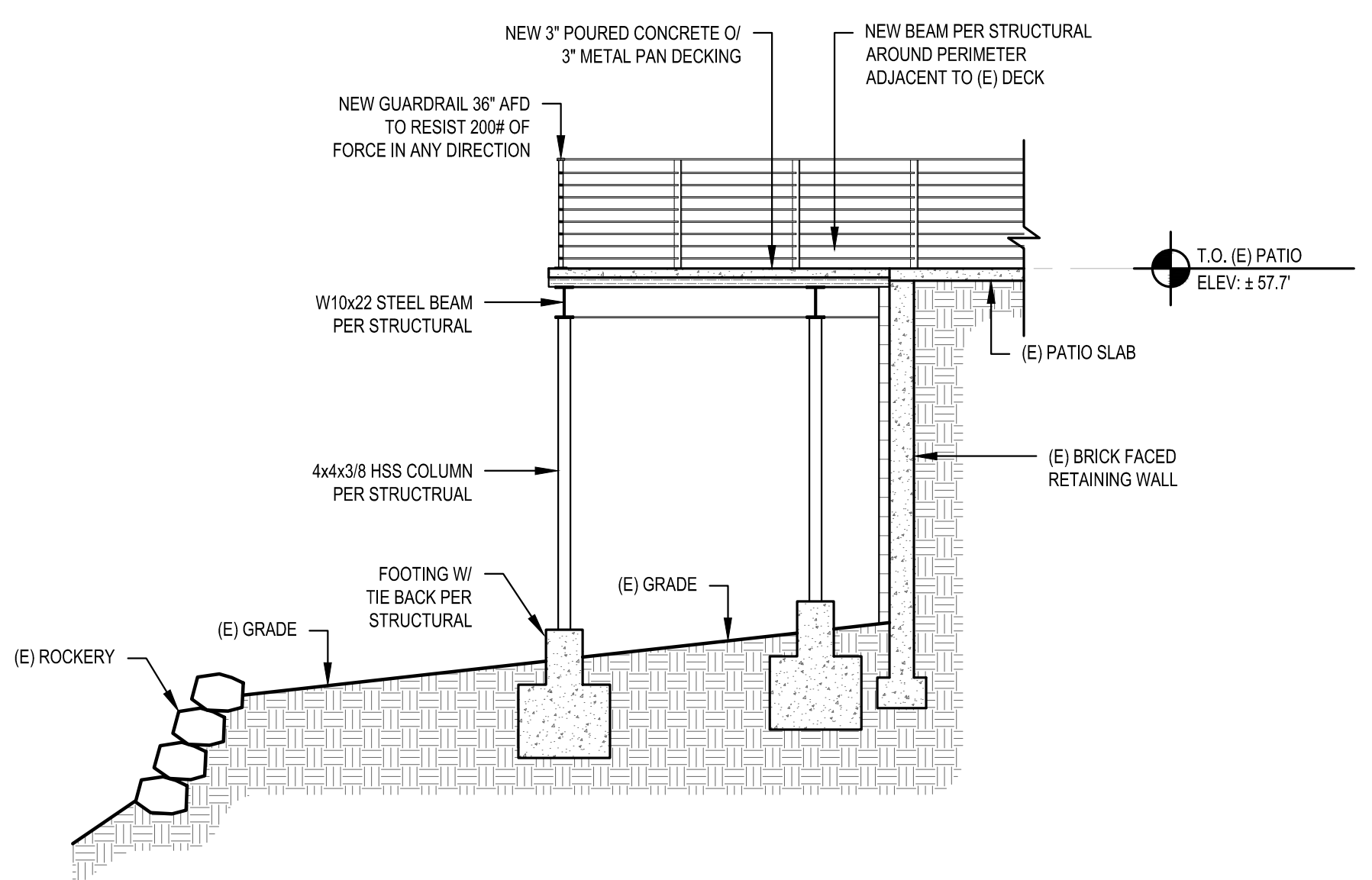
2 OUTDOOR ROOM SECTION
SCALE: 1/4" = 1'-0"



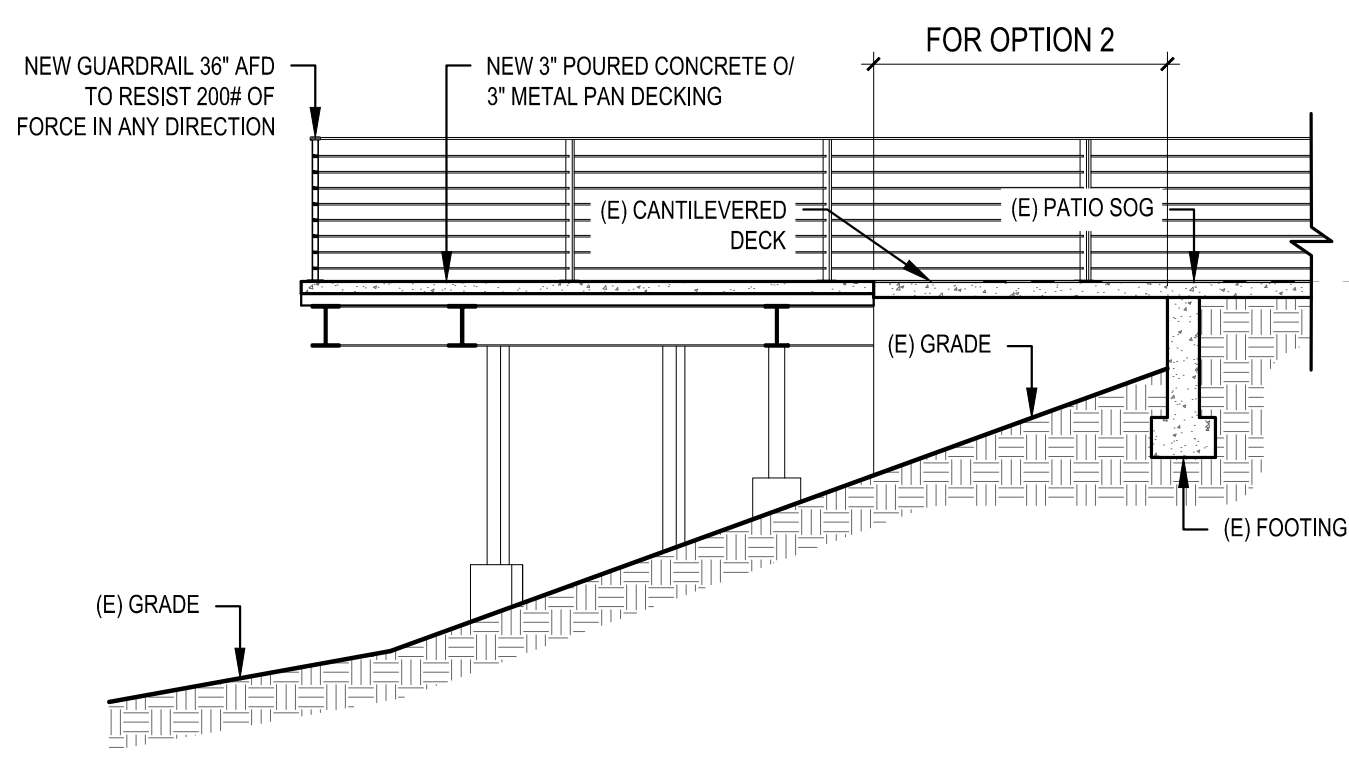
3 OUTDOOR ROOM SECTION
SCALE: 1/4" = 1'-0"



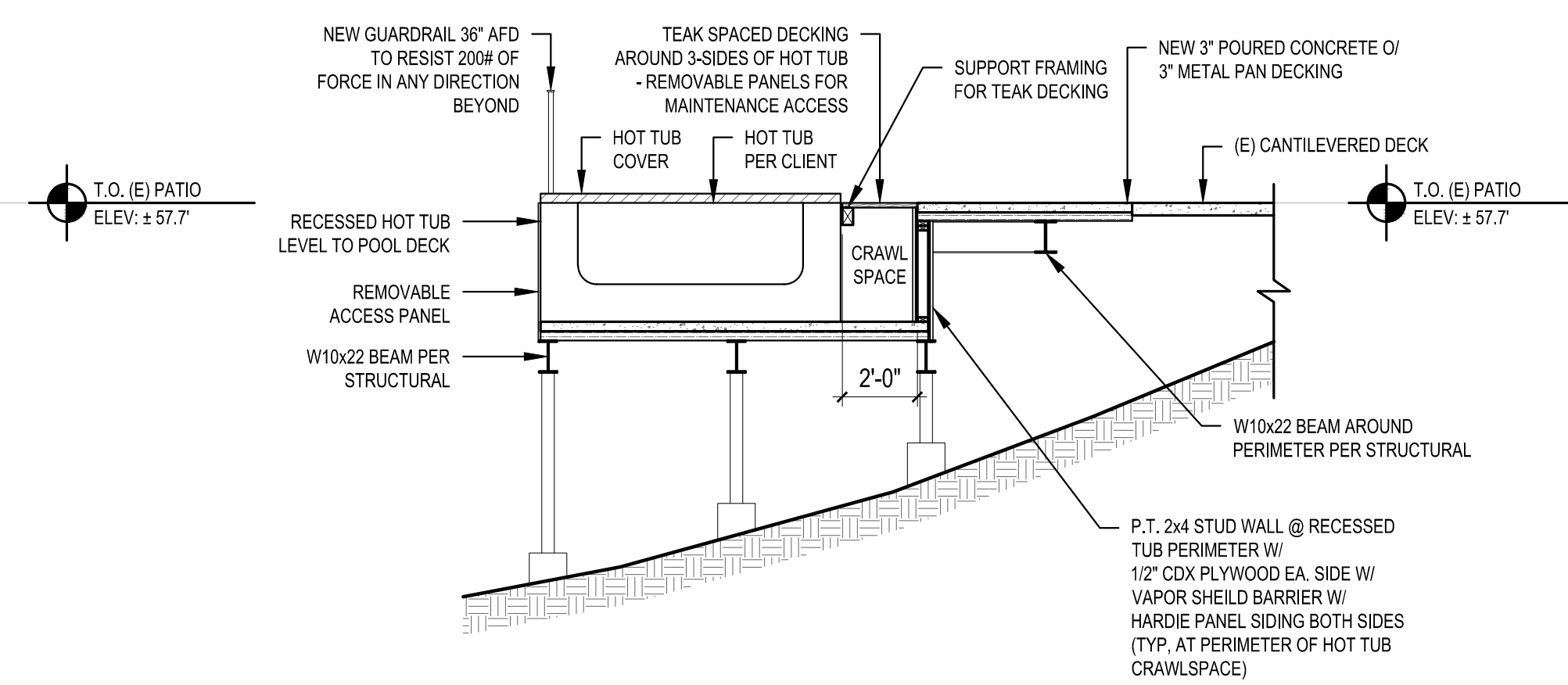
4 OUTDOOR ROOM SECTION
SCALE: 1/4" = 1'-0"



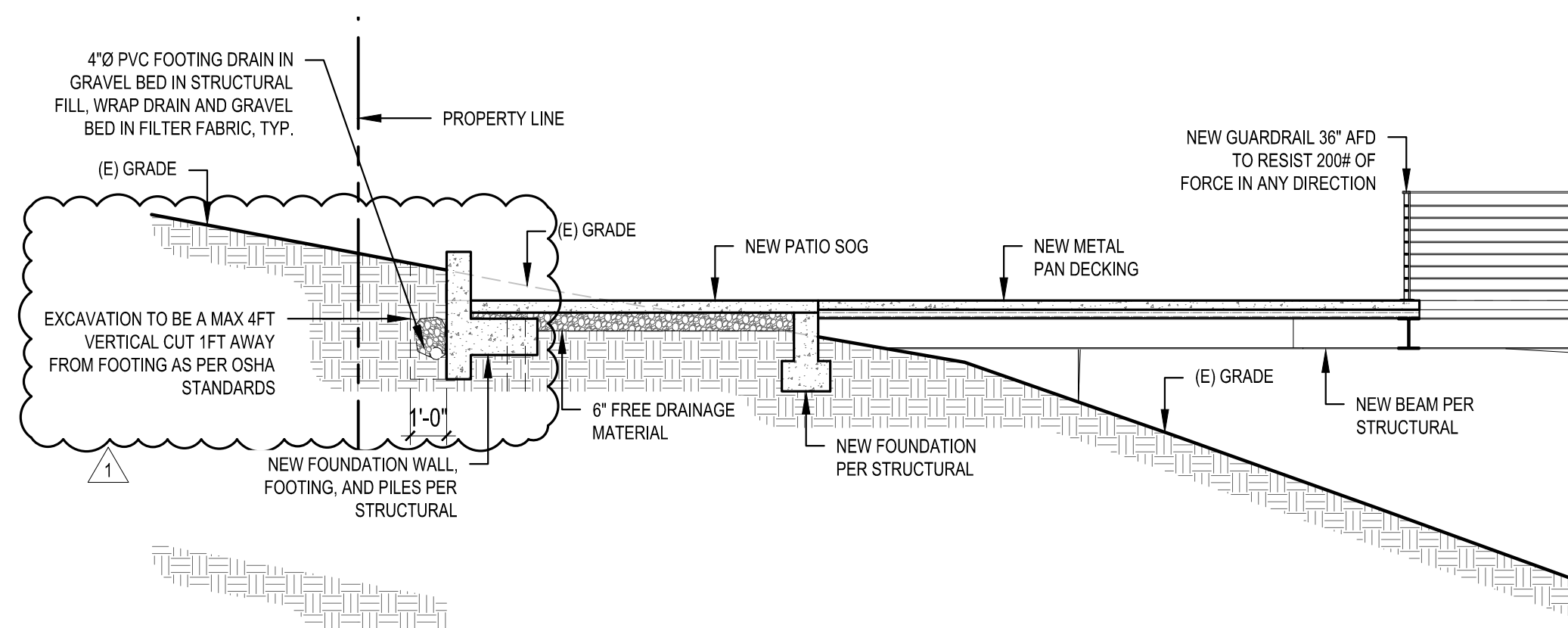
5 DECK SECTION
SCALE: 1/4" = 1'-0"



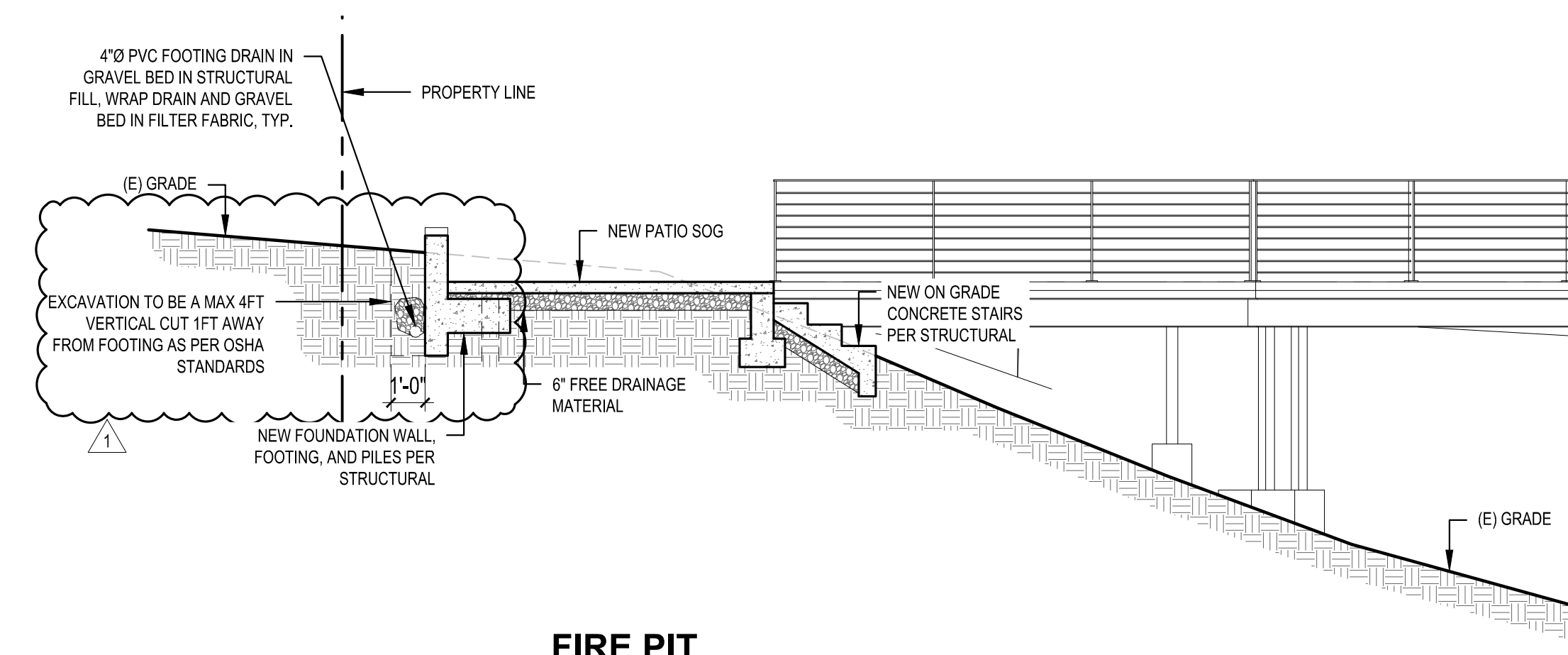
6 DECK SECTION
SCALE: 1/4" = 1'-0"



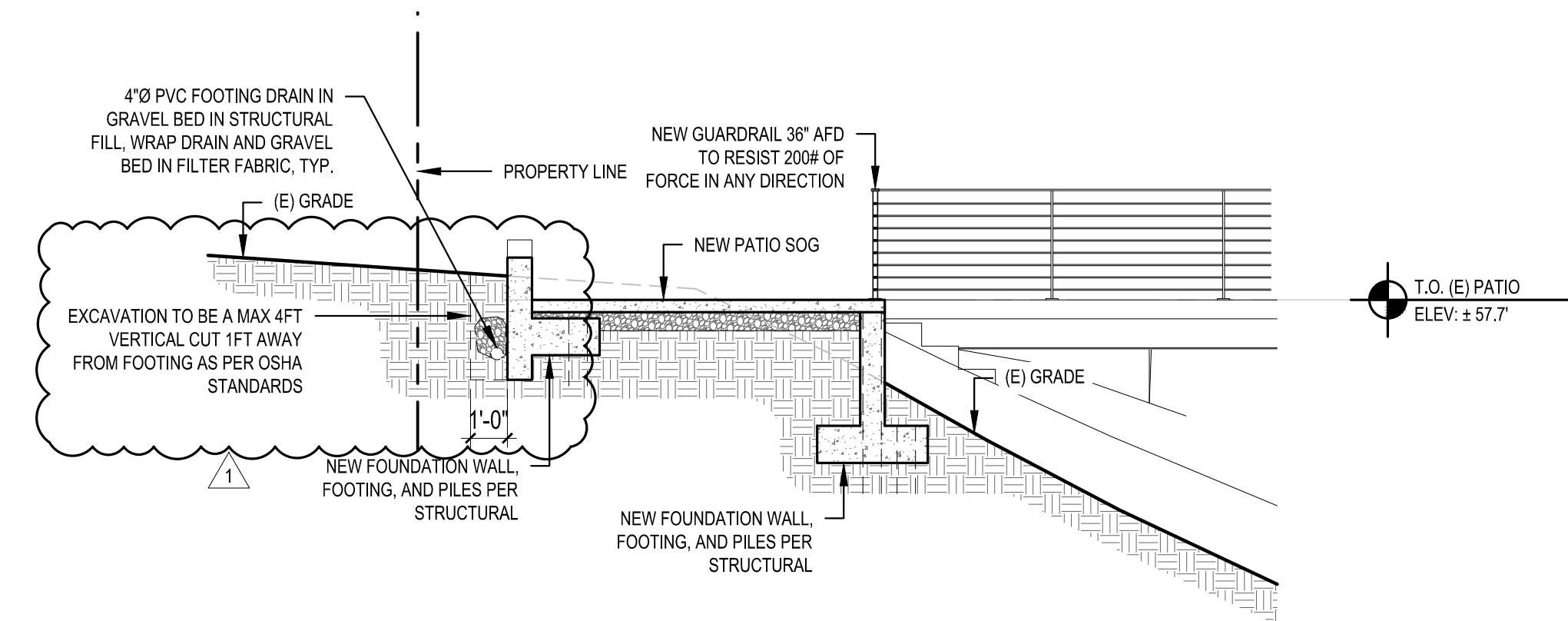
7 HOT TUB DECK SECTION
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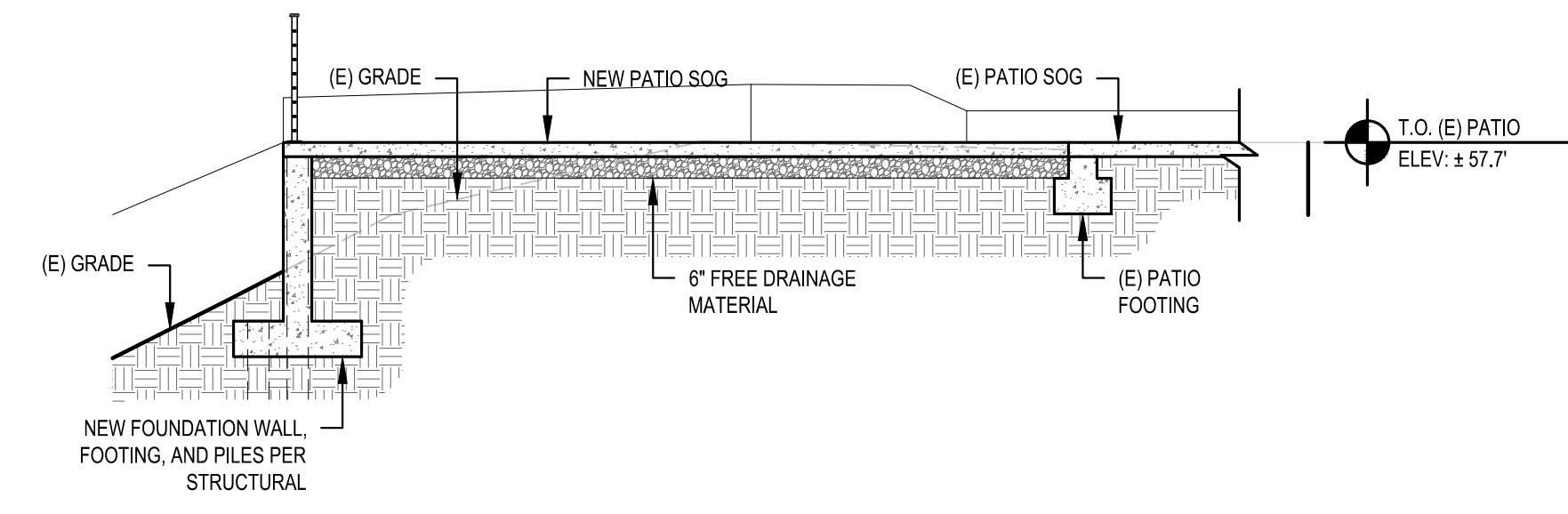
8 FIRE PIT DECK/PATIO SECTION
SCALE: 1/4" = 1'-0"



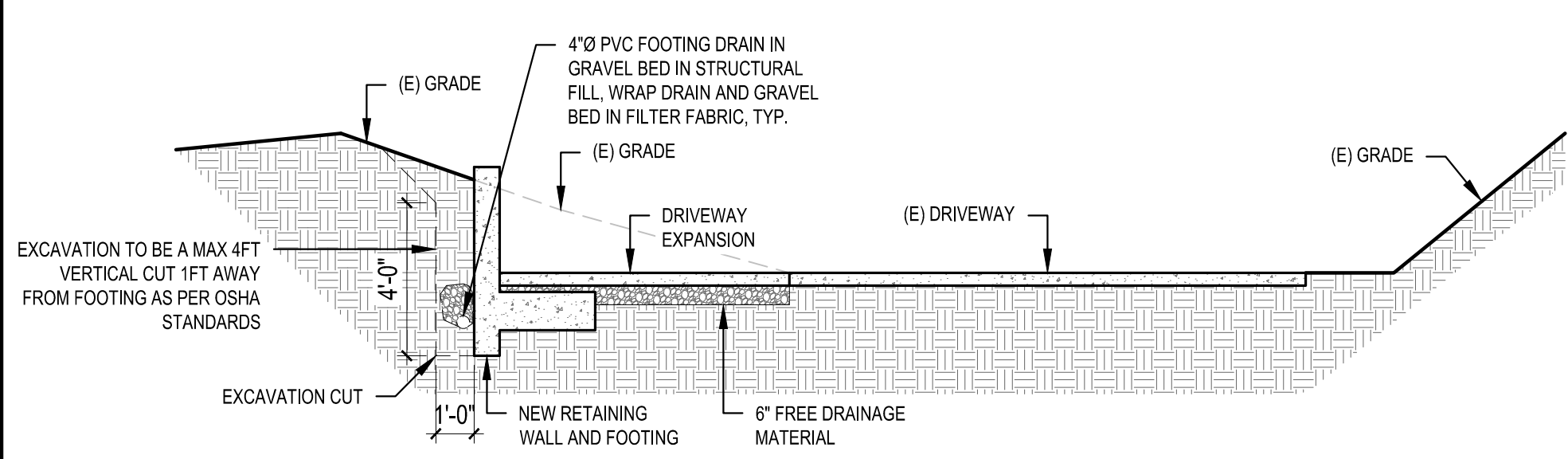
9 FIRE PIT PATIO SECTION
SCALE: 1/4" = 1'-0"



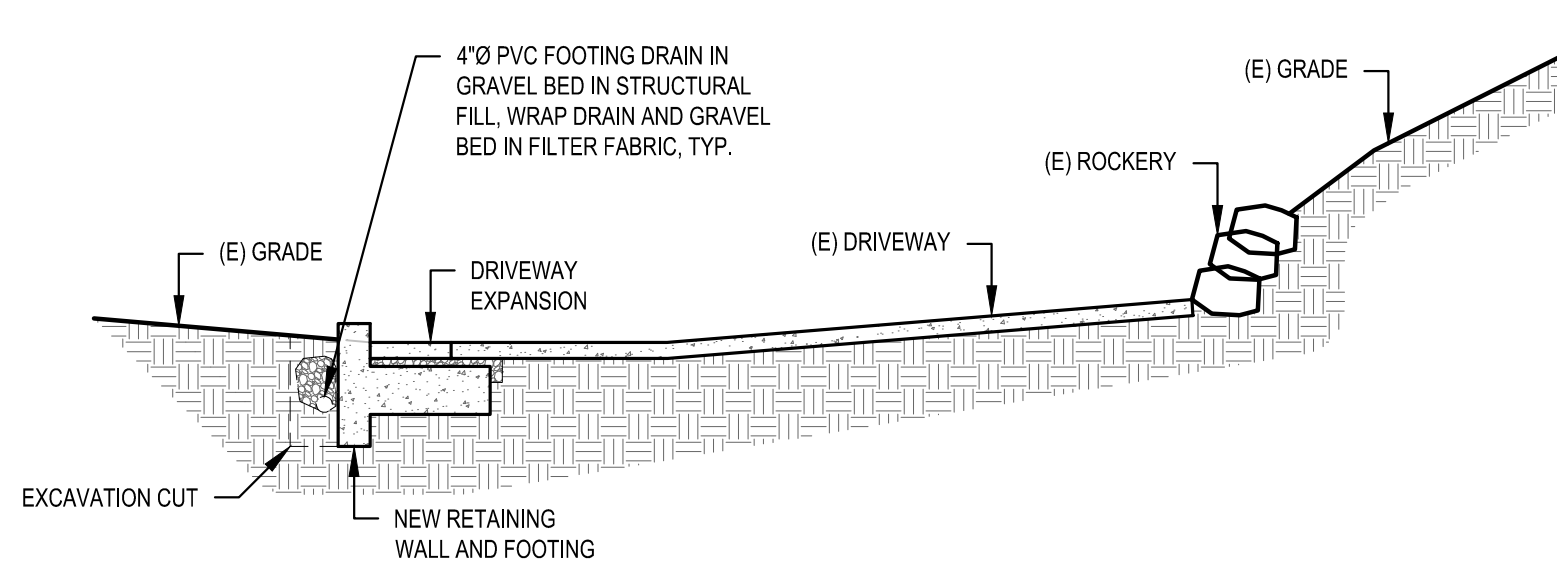
10 FIRE PIT PATIO SECTION
SCALE: 1/4" = 1'-0"



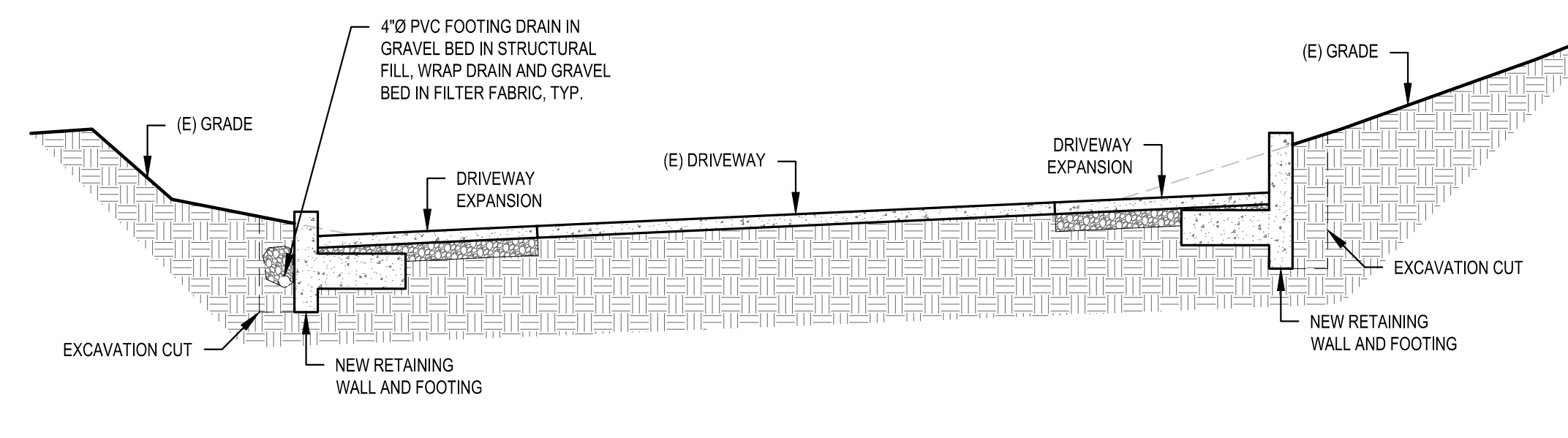
11 FIRE PIT PATIO SECTION
SCALE: 1/4" = 1'-0"



12 DRIVEWAY SECTION
SCALE: 1/4" = 1'-0"



13 DRIVEWAY SECTION
SCALE: 1/4" = 1'-0"



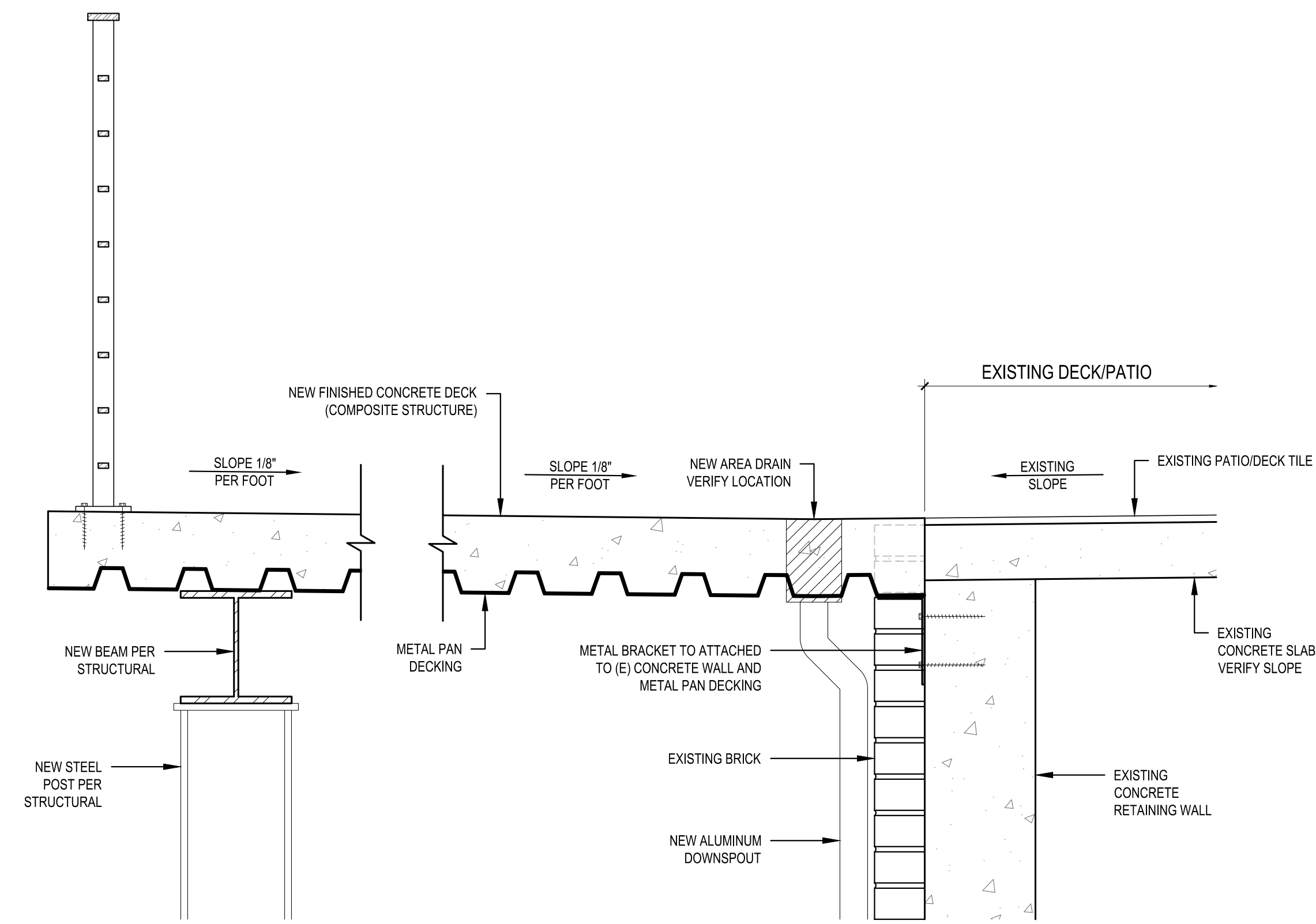
14 DRIVEWAY SECTION
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REVISIONS:	1	2	3	4
	△	△	△	△
CORRECTION 1.2025-6-3				

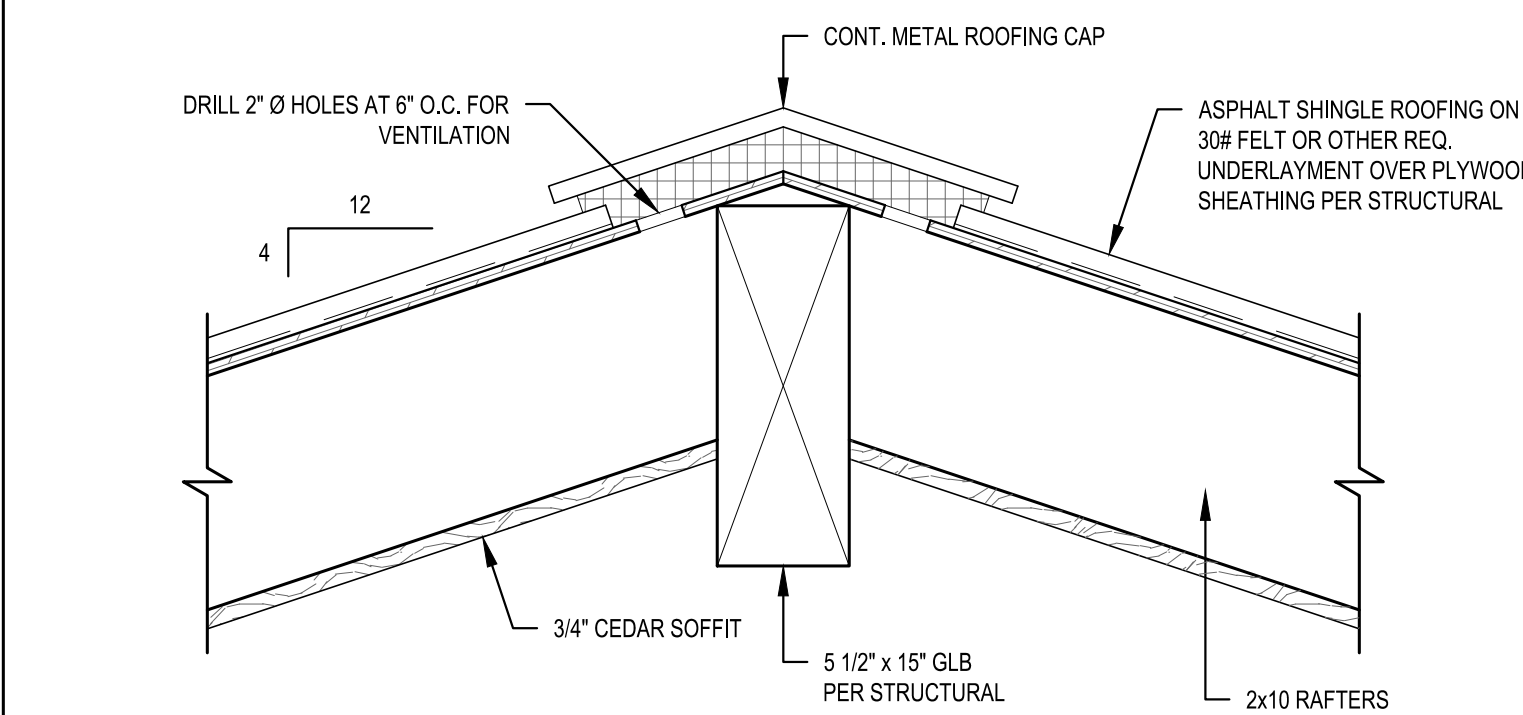
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DRAWN BY: JM
CHECKED BY: BJS

SHEET
A4.1

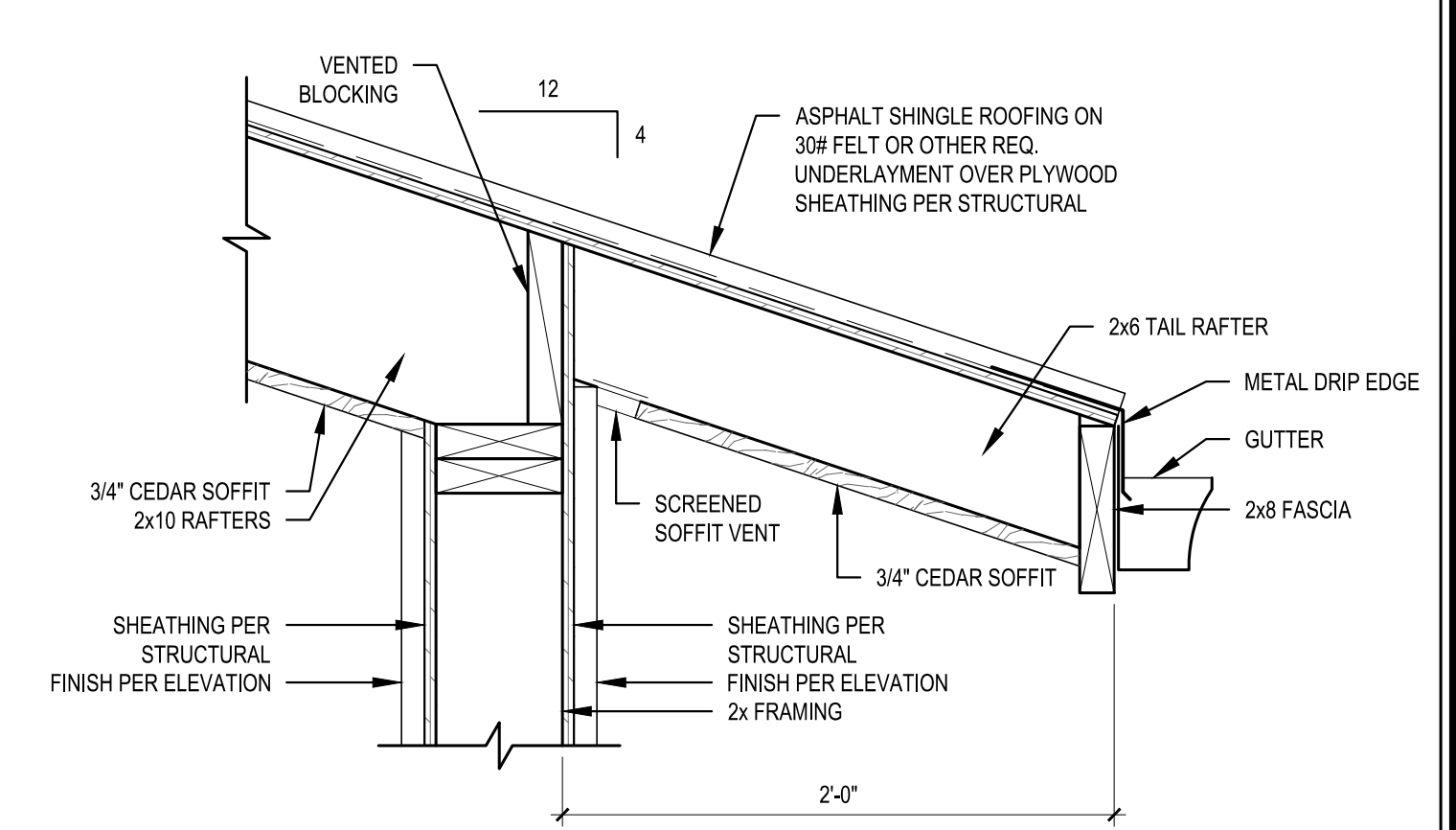
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CORRECTION SET 1 7/2/2025



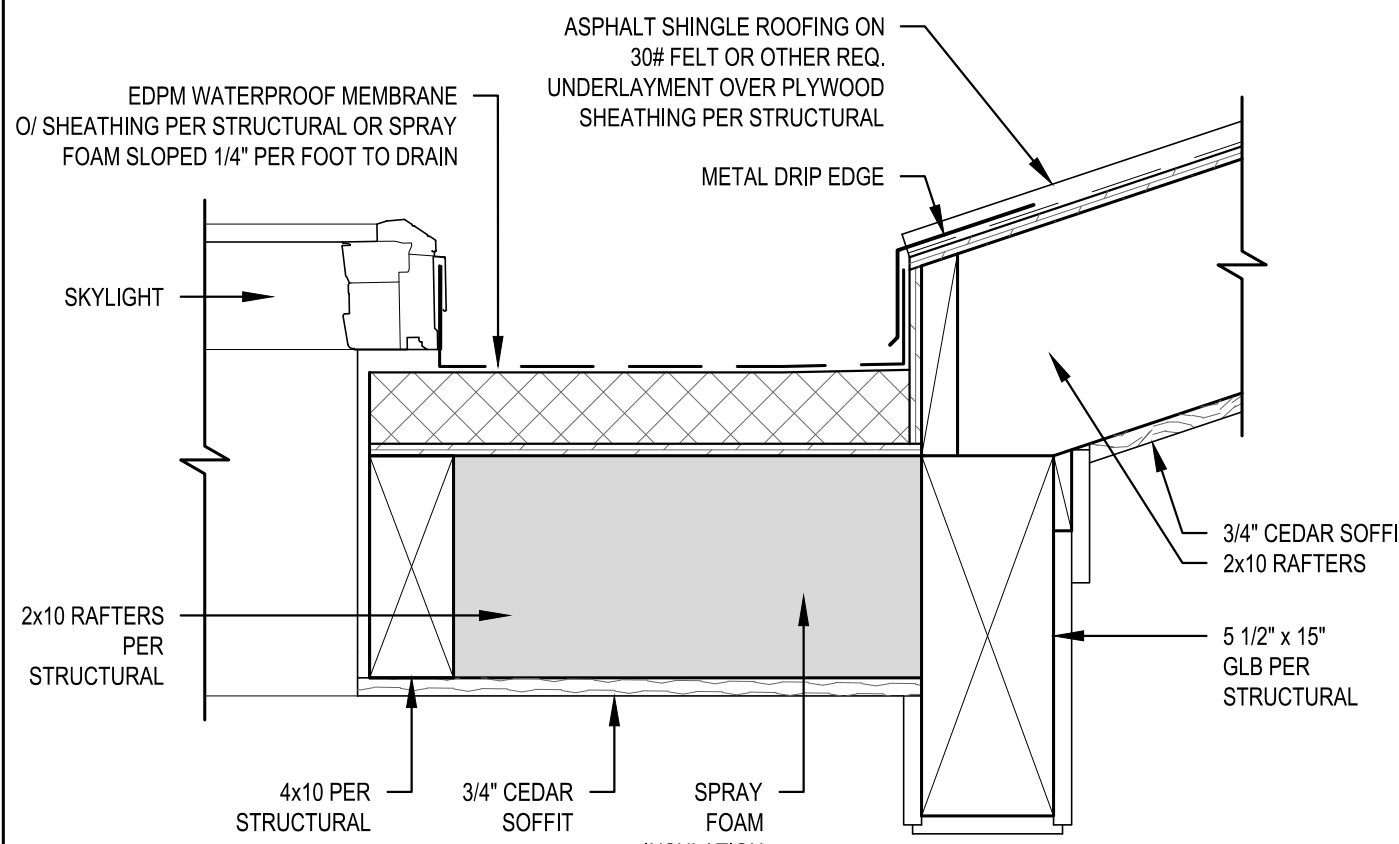
1 METAL DECKING/EXISTING DECKING CONNECTION
SCALE: 1 1/2" = 1'-0"



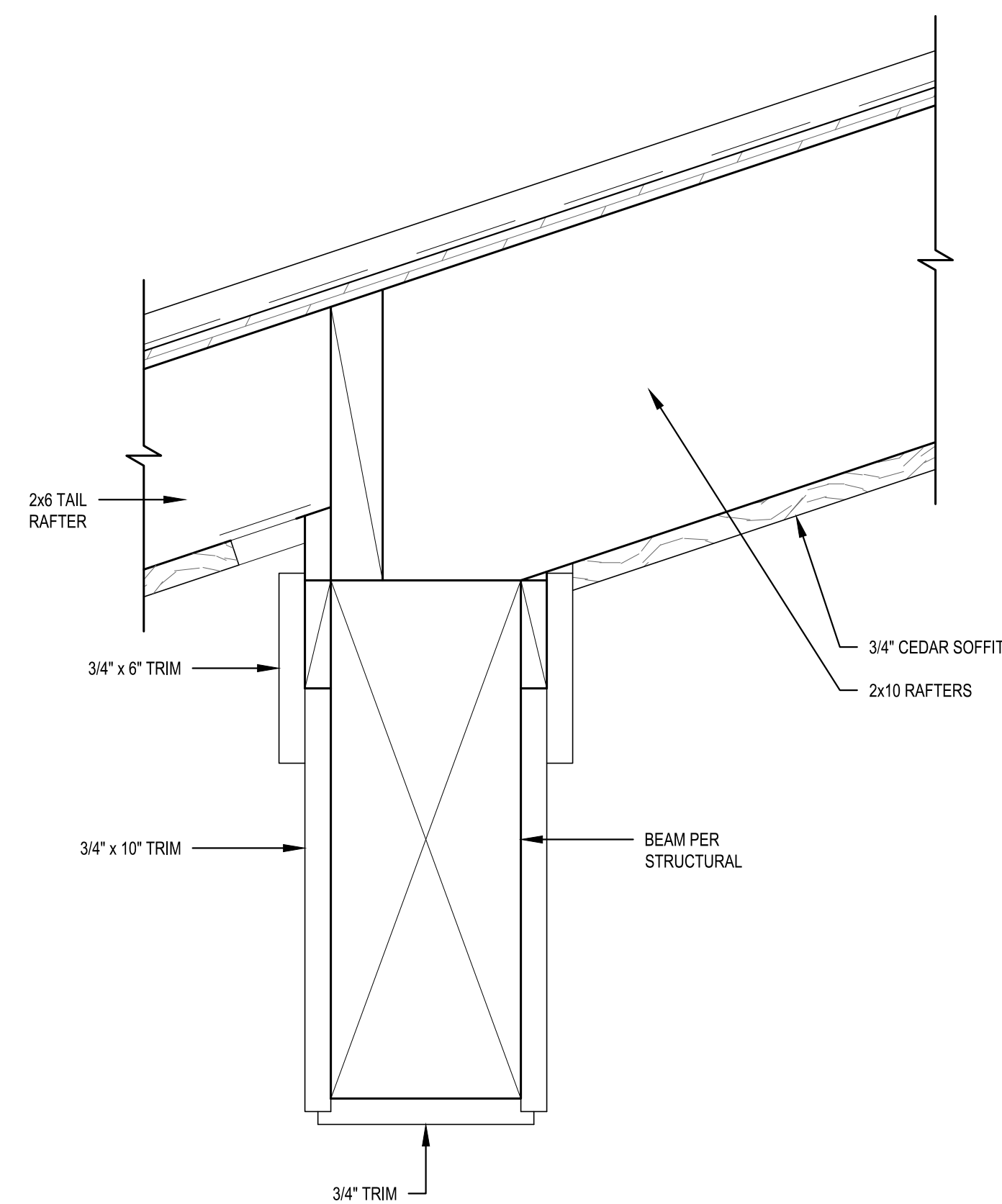
2 RIDGE VENT DETAIL
SCALE: 1 1/2" = 1'-0"



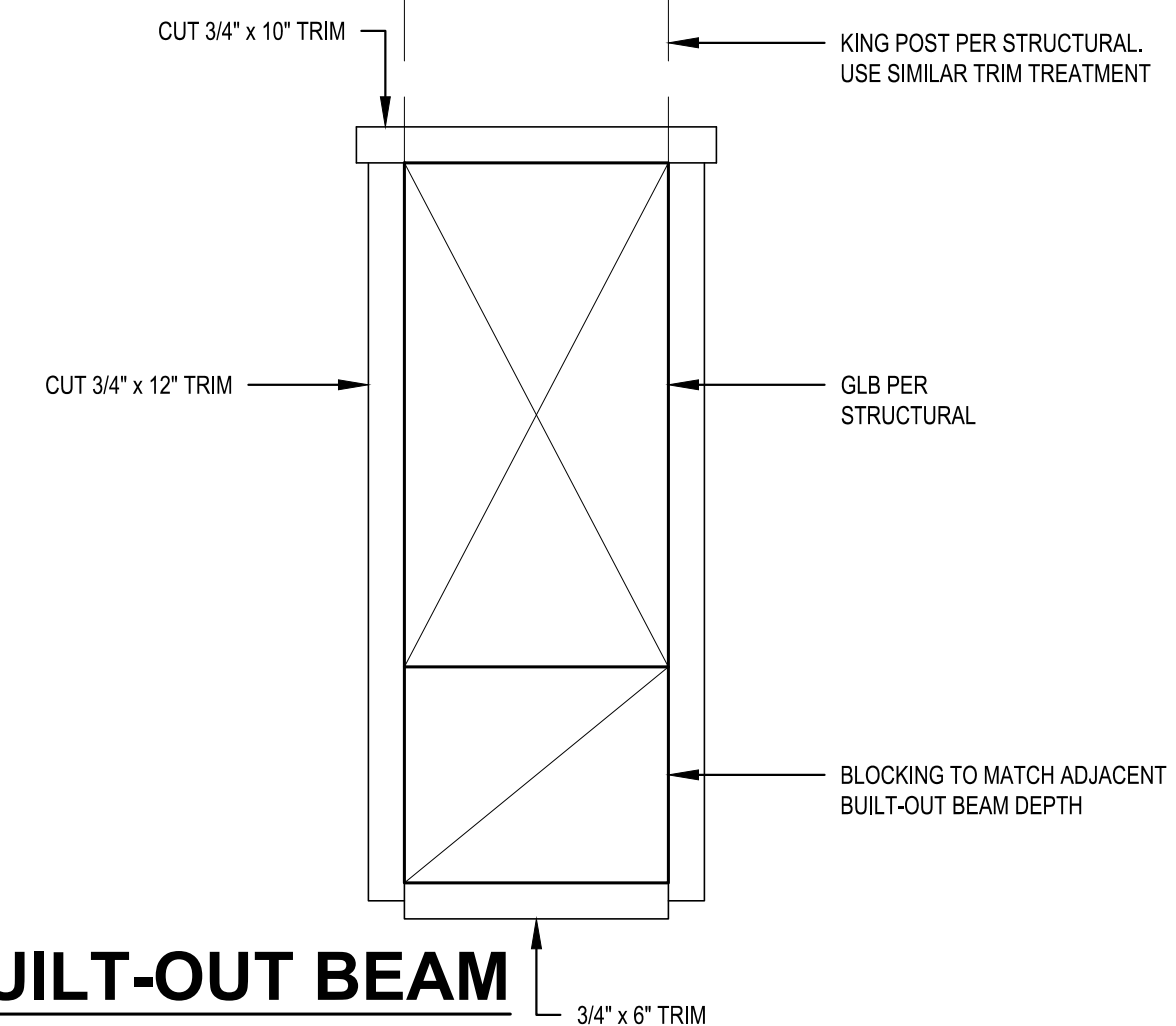
3 EAVE VENT DETAIL
SCALE: 1 1/2" = 1'-0"



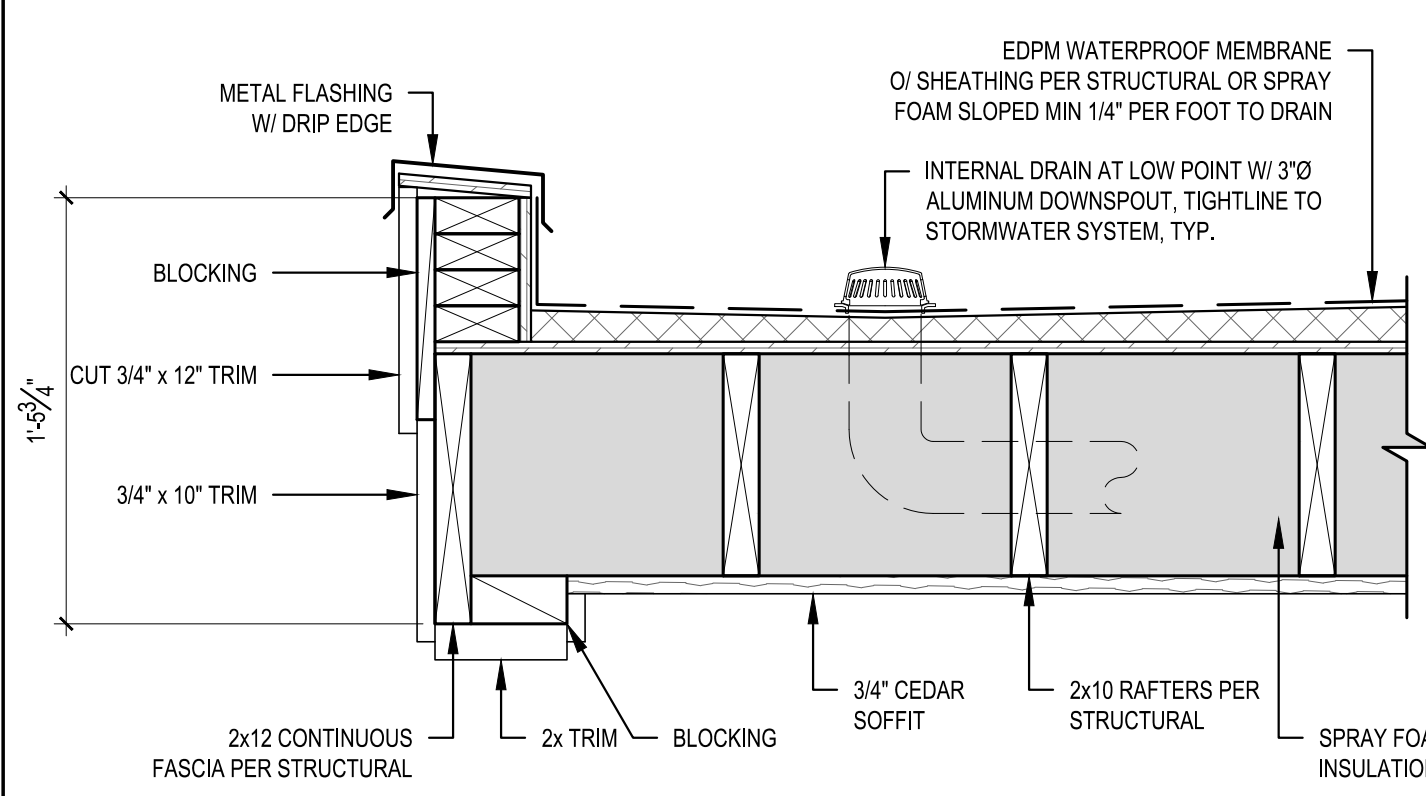
4 FLAT ROOF/GABLE ROOF TRANSITION
SCALE: 1 1/2" = 1'-0"



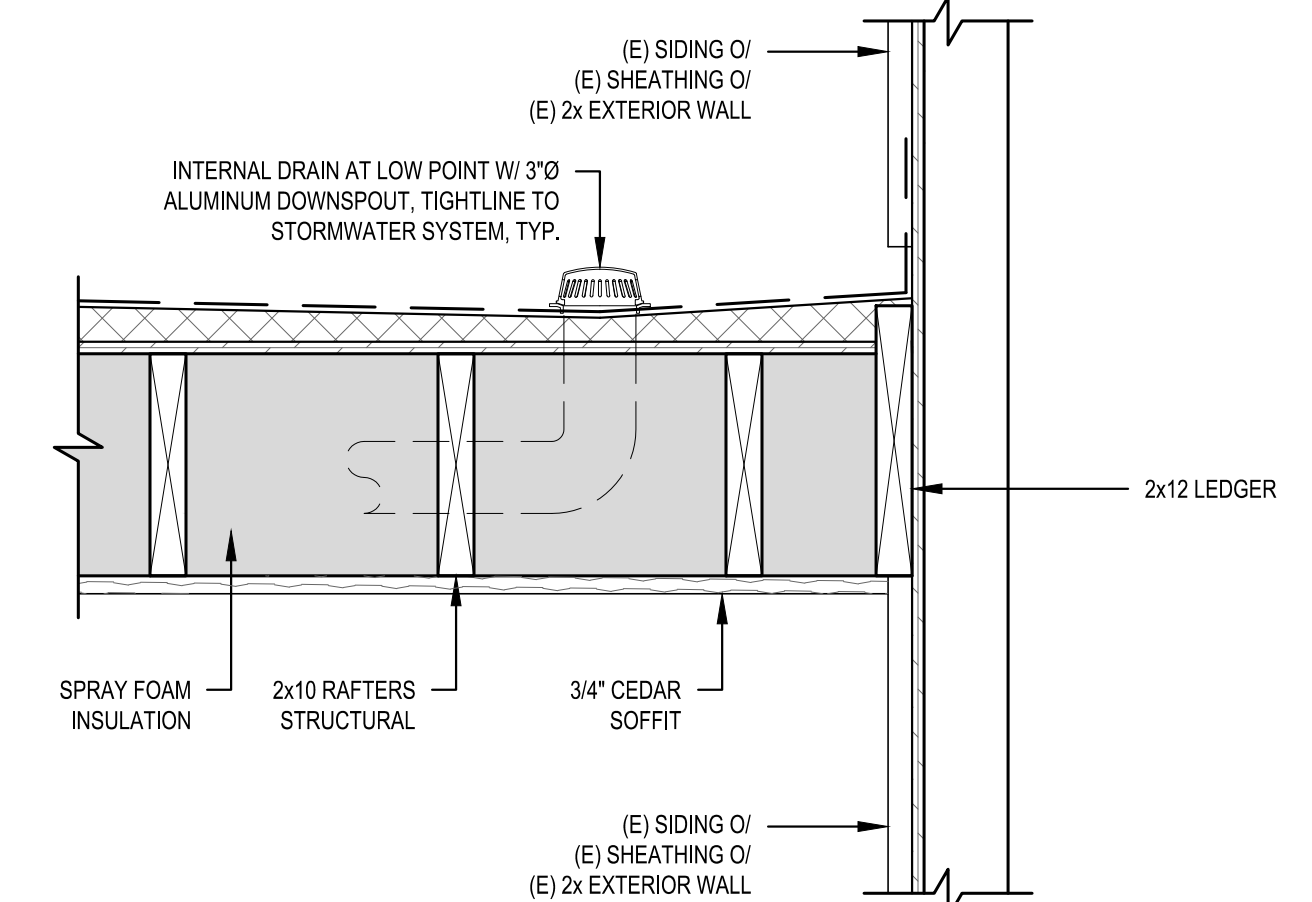
6 BUILT-OUT BEAM
SCALE: 3" = 1'-0"



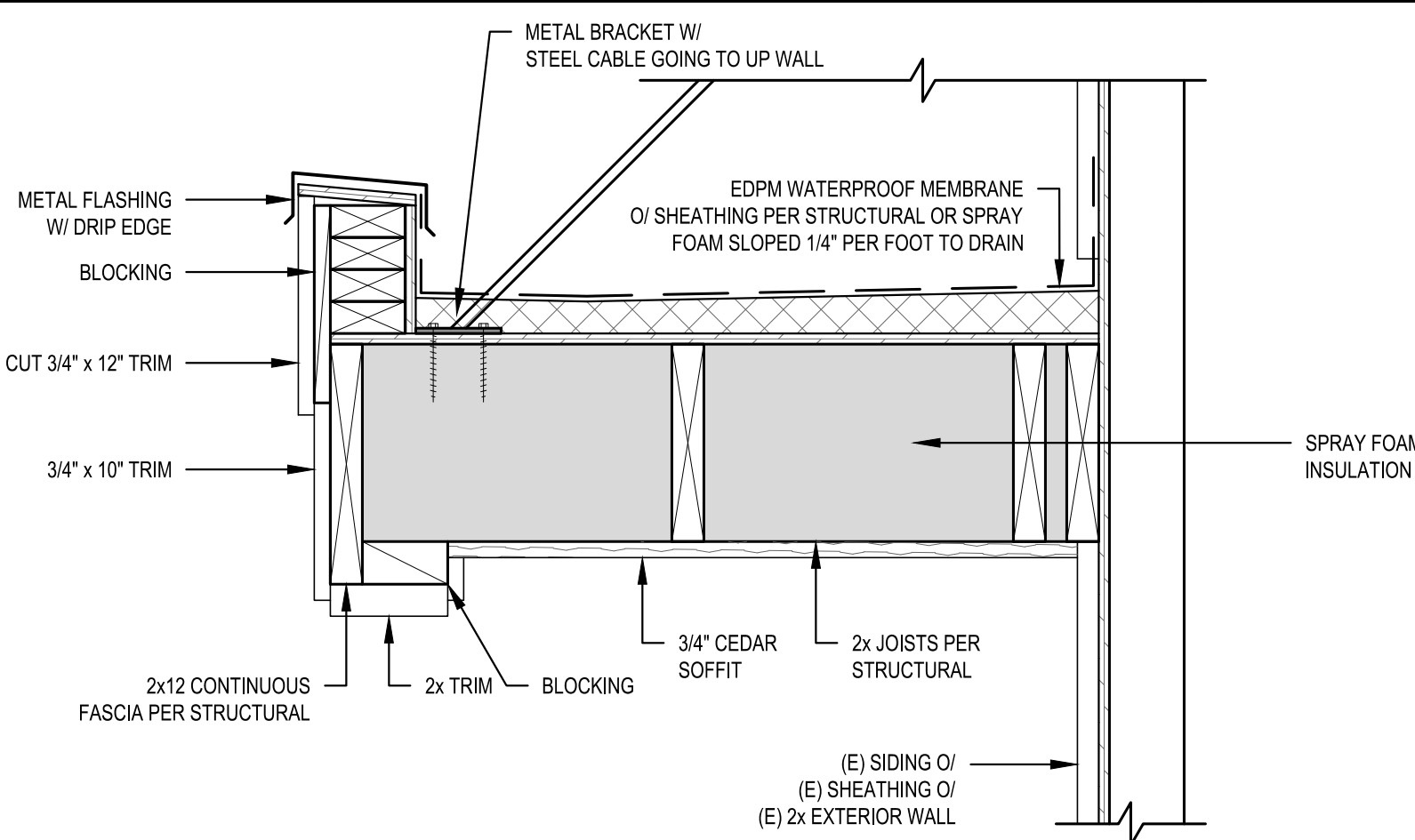
7 BUILT-OUT BEAM
SCALE: 3" = 1'-0"



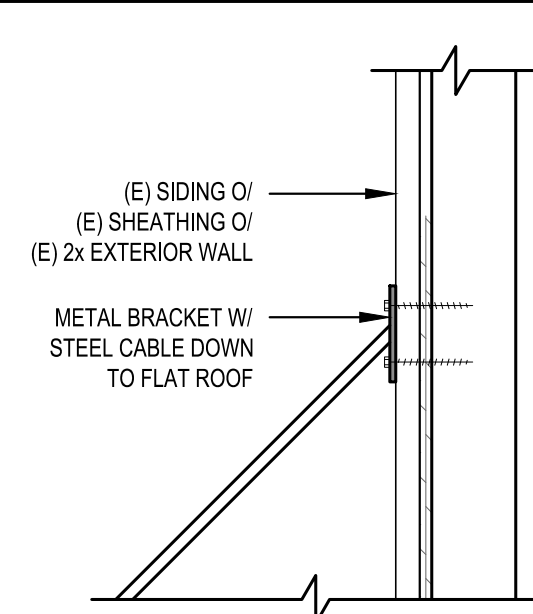
8 FLAT ROOF PARAPET
SCALE: 1 1/2" = 1'-0"

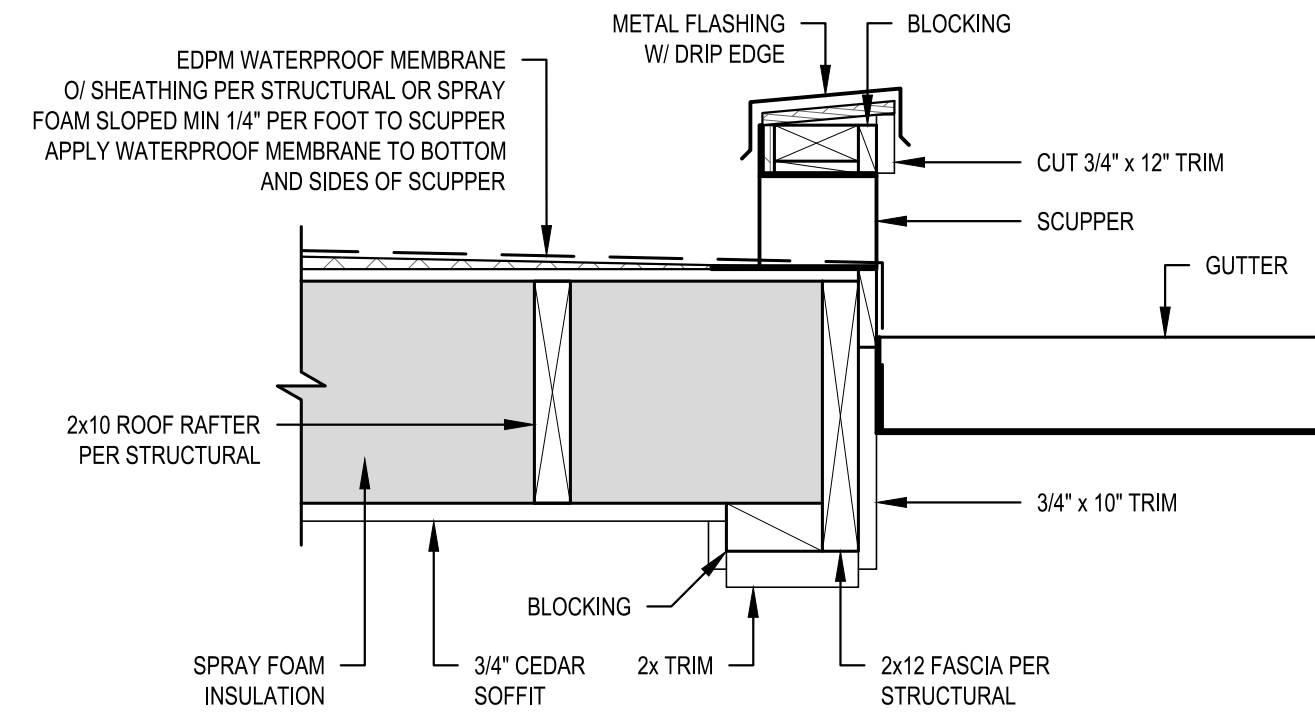


9 FLAT ROOF/HOUSE CONNECTION
SCALE: 1 1/2" = 1'-0"

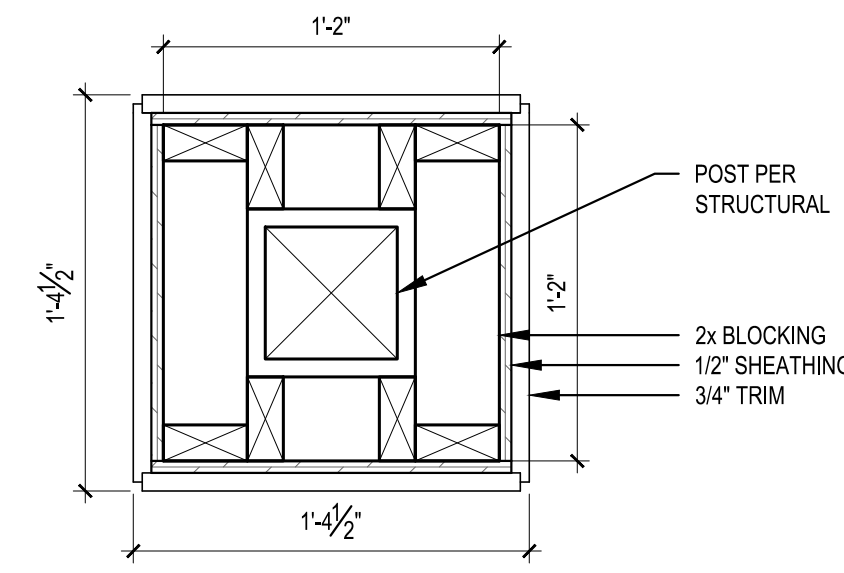


10 FLAT ROOF PARAPET
SCALE: 1 1/2" = 1'-0"





12 SCUPPER
SCALE: 1 1/2" = 1'-0"



13 COLUMN
SCALE: 1 1/2" = 1'-0"

DETAILS

REVISIONS:	
△ CORRECTION 1 2025-6-3	
△	
△	
△	
△	
PLOT DATE:	7/2/2025
DRAWN BY:	JM
CHECKED BY:	BJS

SHEET
A6.1

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS
A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CORRECTION SET 1 7/2/2025

O'NEIL POOL DECK EXTENSION

S241205-3

PROJECT INFORMATION

CLIENT
GINA AND TIM O'NEIL
8030 SE 20TH ST
MERCER ISLAND, WA 98040

PROJECT ADDRESS
8030 SE 20TH ST
MERCER ISLAN, WA 98040

ARCHITECT
STURMAN ARCHITECTS
9 103RD AVE NE SUITE 203
BELLEVUE, WA 98004
PHONE: (425) 451-7003

STRUCTURAL ENGINEER
L120 ENGINEERING & DESIGN
13150 91ST PL NE
KIRKLAND, WA 98034
PHONE: (425) 636-3313
EMAIL: MTHURFJELL@L120ENGINEERING.COM
CONTACT: MANS THURFJELL, PE

CODES

ENGINEERED PER:
2021 (IRC) INTERNATIONAL RESIDENTIAL CODE
2021 (IBC) INTERNATIONAL BUILDING CODE

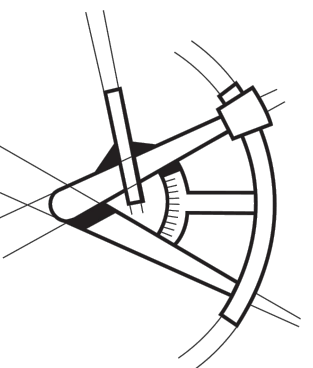
SHEET INDEX

COVER SHEET...S-0
STRUCTURAL GENERAL NOTES...S-1
FOUNDATION PLAN...S-2
FOUNDATION PLAN...S-2.1
FIRST FLOOR FRAMING PLAN...S-3
FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-4
ROOF FRAMING PLAN...S-5

STRUCTURAL DETAILS...SD-1
STRUCTURAL DETAILS...SD-2
STRUCTURAL DETAILS...SD-3
STRUCTURAL DETAILS...SD-4
STRUCTURAL PLAN NOTES...SD-5



LONGITUDE
ONE TWENTY[®]
ENGINEERING & DESIGN



REVISIONS

△	DESCRIPTION	DATE	BY
△	ARCH UPDATES/ CITY COMMENTS	07/01/25	

PROJECT NAME

O'NEIL POOL DECK
EXTENSION
8030 SE 20TH ST
MERCER ISLAND, WA 98040

PROJECT NUMBER

S241205-3

DRAWN BY - SS

CHECKED BY - KJ

SHEET DATE - 02/05/2025

SCALE

24X36 SHEET:1/4"=1'-0"

DESCRIPTION

COVER SHEET

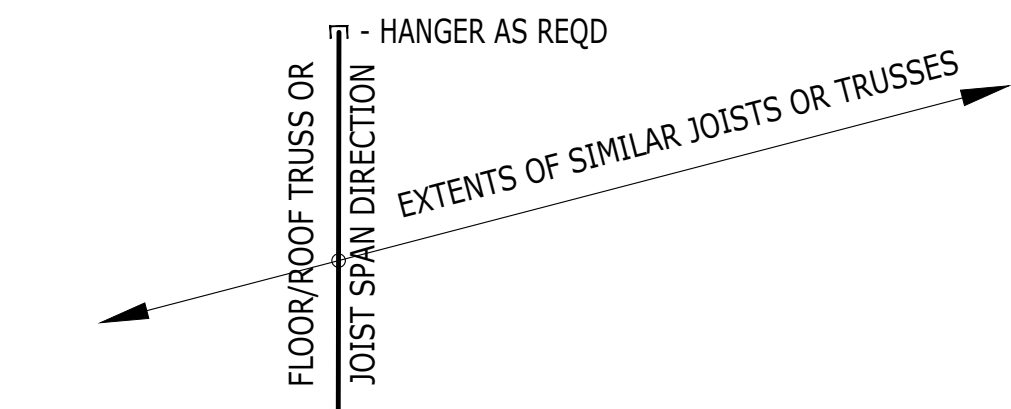
SHEET
S-0

ROOF FRAMING NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
- ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
- ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
- ENGINEERED ROOF JOISTS AND ROOF TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
 - STANDARD DEAD AND LIVE LOADS SHALL BE USED FOR TRUSS DESIGN. REFERENCE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.
 - CHANGES TO LAYOUT MUST BE SUBMITTED TO THE ARCHITECT AND EOR FOR REVIEW AND APPROVAL.
 - TRUSS SUBMITTAL PACKAGE TO BE PROVIDED TO EOR FOR REVIEW. REFERENCE STRUCTURAL GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.
 - (XXX LBS SHEAR/DRAW) INDICATES SHEAR TRANSFER LOAD. SHEAR TRUSS SHALL BE DESIGNED TO BE ABLE TO TRANSFER SPECIFIED LATERAL LOAD APPLIED AT THE TOP CHORD TO THE BOTTOM CHORD AND INTO SHEARWALL BELOW.
 - ROOF TRUSSES SHOULD BE DESIGNED FOR ADDITIONAL LOADS WHERE APPLICABLE AS SPECIFIED BY THE ARCHITECT (I.E. MECHANICAL UNITS, ROOF DECKS AND PATIOS, GREEN ROOFS, SOLAR UNITS AND ETC).
 - TRUSS DESIGN FOR BEARING AT TOP PLATES TO BE DESIGNED FOR COMPRESSION PERPENDICULAR TO GRAIN.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
- ROOF DRAINAGE BY OTHERS.
- ATTIC VENTILATION BY OTHERS.
- FOR TYPICAL INSTALLATION DETAILS REFERENCE TO:
 - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING

FRAMING LEGEND

- GIRDER OR GABLE END TRUSS
- INTERIOR BEARING WALL
- ROOF OVERFRAMING
- 3 1/8" X 9" GLB (FH-5) - EXAMPLE
- REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
- BEAM OR TRUSS MEMBER



WALL FRAMING AND SHEAR WALL NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
- ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED TOGETHER WITH 16d @ 6" O.C.
- EXTERIOR WALL STUDS SHALL BE 2X6 @ 16" O.C. (<=10"), 2X6 @ 12" O.C. (>10") UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16" O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" @ SW2 AND 2W2), AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.1310 X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"x3"x1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- TYPICAL DETAILS:
 - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
 - 10/SD-1 TYP STHD HOLDOWN SECTION
 - 11/SD-1 TYP HOLDOWN INSTALLATION
 - 12/SD-1 TYP PONY WALL DETAIL
 - 17/SD-1 TYP NON-BEARING WALL FRAMING
 - 20/SD-1 TYP TOP PLATE SPLICE
 - 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
 - 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
 - 3/SD-2 TYP HEADER FRAMING

FRAMING AND SHEATHING LEGEND

- HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)
- INTERIOR BEARING WALL
- #K
- #J
- INDICATES THE NUMBER OF KING AND JACK STUDS
- INDICATES SHEARWALL LOCATION (SW # - SHEAR WALL MARK)
- CS16
- HORIZONTAL STRAP (EXAMPLE)
- HEADER
- SW6 (A.1)
- SHEAR WALL CALLOUT
- REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE
- REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE
- 3 1/8" X 9" GLB (FH-5) - EXAMPLE
- REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
- BEAM OR TRUSS MEMBER

SHEAR WALL SCHEDULE

WALL	SHEATHING	PANEL EDGE NAILING (COMMON (GALV) NAILS)	PANEL EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	RIM CONNECTION		
					AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

FLOOR FRAMING NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- TYPICAL DETAILS:
 - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
 - 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
 - 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

FRAMING LEGEND

- BLOCKED FLOOR DIAPHRAGM
- W10X15
- STEEL BEAM (EXAMPLE)
- GT
- GIRDER TRUSS
- FLOOR BEAM
- INTERIOR BEARING WALL
- STRAP
- LOW ROOF
- 3 1/8" X 9" GLB (FH-5)
- BEAM/HEADER CALL OUT (EXAMPLE)
- REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
- BEAM OR TRUSS MEMBER
- HANGER AS REQD

TYPICAL JOIST HANGER SCHEDULE			
TJ1210			
11 7/8"	2-PLY 11 7/8"	14"	2-PLY 14"
IUS2.06/11.88	MIU4.28/11	IUS2.06/14	MIU4.28/14
2X10		2X10	
1-PLY LUS210		2-PLY LUS210-2	

TYPICAL BEAM HANGER SCHEDULE			
LVL / LSL / PSL			
	1 3/4"	3 1/2"	5 1/4"
11 7/8"	HUS1.81/10	HHUS410	HGUS5.50/12
14"	HUS1.81/10	HHUS410	HGUS5.50/14

FOUNDATION NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMMODATE 3X SILL PLATE.
- FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"x3"x1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"x3"x1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- CJ INDICATES CONTROL JOINT.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
- TYPICAL DETAILS:
 - 1/SD-1 TYP STEMWALL
 - 2/SD-1 TYP INTERIOR FOOTING
 - 3/SD-1 TYP CRAWLSPACE VENT
 - 4/SD-1 TYP FOOTING STEP
 - 5/SD-1 TYP CORNER BARS REQD
 - 7/SD-1 TYP CONSTRUCTION JOINT
 - 8/SD-1 TYP BAR BEND AND HOOK DETAIL
 - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
 - 10/SD-1 TYP STHD HOLDOWN SECTION
 - 11/SD-1 TYP HOLDOWN INSTALLATION
 - 12/SD-1 TYP PONY WALL DETAIL

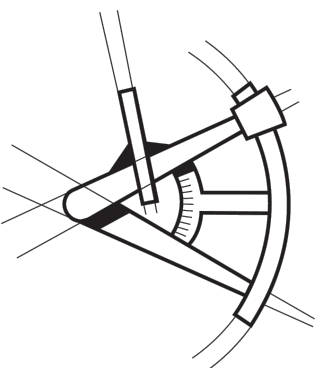
HOLDOWN SCHEDULE			
MODEL	ANCHOR	EMBEDMENT	MIN END POST
CS16/CS14	-	-	1-2X EA
MST#	-	-	2-2X OR 3X
STHD14/STHD14RJ	-	-	2-2X OR 3X
HDU2	5/8" TR	12"	2-2X OR 3X
HDU5	5/8" TR	12"	2-2X
HDU8	7/8" TR	12"	3-2X
HDU11	1" TR	12"	6X6
HDU14	1" TR	15"	6X6
HD19	1 1/4" TR	15"	6X6

FOUNDATION LEGEND

- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION
- TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)
- STHD14 (EXAMPLE)
- HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- 24 X 24 X 10 (EXAMPLE)
- FOOTING CENTERED ON POST (L X W X T)
- 2 7/8" HELICAL TIE BACK
- 3" PIN PILE
- 3" PIN PILE (BATTERED)



LONGITUDE
ONE TWENTY®
ENGINEERING & DESIGN



REVISIONS	
DESCRIPTION	DATE
ARCH UPDATES/ CITY COMMENTS	07/01/25

PROJECT NAME
O'NEIL POOL DECK EXTENSION 8030 SE 20TH ST MERCER ISLAND, WA 98040
PROJECT NUMBER
S241205-3

DRAWN BY - SS

CHECKED BY - KJ

SHEET DATE - 02/05/2025

SCALE
24X36 SHEET: 1/4"=1'-0"

DESCRIPTION	STRUCTURAL PLAN NOTES	SHEET SD-5